

# Grant Road District Urban Overlay Zone



February 28, 2012

**INITIAL PUBLIC REVIEW  
DRAFT**



# GRANT ROAD

## Improvement Plan



The Grant Road Improvement Plan is Funded by the Regional Transportation Authority.

## Grant Road District Overlay Zone

*Background and Process Related to the Initial Public Review Draft*  
April, 2012

The attached document, the Initial Public Review Draft of the Grant Road District (GRD), dated February 28, 2012 is a proposed optional overlay zone for properties along Grant Road. It is available digitally at [http://www.grantroad.info/land\\_use\\_urban\\_design.php](http://www.grantroad.info/land_use_urban_design.php) and is available as printed copies that can be reviewed at the Ward 3 (1510 E. Grant Road) and Ward 6 (3202 E. 1st St.) offices, and at the following public library branches - Joel D. Valdez Main Library (101 N. Stone Ave.), Woods Memorial Branch Library (3455 N. First Ave.), and Martha Cooper Branch Library (1377 N. Catalina).

Comments will be considered for potential revisions to future drafts of the GRD overlay zone document, and/or presented as alternatives to language in the GRD for consideration as the public review and hearing process continues. This document will continue to evolve and be re-issued for public review at different points in the planning process.

### Background

The GRD process continues a public input process that started over four years ago. There have been 31 public meetings or workshops to date that have specifically focused on land use planning, and in most of the additional 56 other public input opportunities land use planning was discussed. The GRD overlay is being developed as an implementation method for achieving the vision for the future of development along Grant Road. The vision for this development has been defined through the past 4 years of planning and public input.

### Process Moving Forward

The current GRD planning and approvals process includes additional public input opportunities. Over the next couple of months there will be individual meetings for each of the seven (7) area and neighborhood plan amendments that are needed to implement the GRD. This will be followed by meetings with the Planning Commission that are planned to begin in October and be completed by early winter 2013. The formal GRD review and hearing process will begin in the spring of 2013 with the goal of having a hearing before the Mayor and Council later in 2013.

### Submitting Your Comments

Comments can be provided via the comment box on the project website's link to the draft document or emailing [information@grantroad.info](mailto:information@grantroad.info), calling (520) 624-4727 or mailing to Grant Road Improvement Plan c/o 110 S. Church Avenue, Suite 3350, Tucson, AZ 85701

### Responses to Comments and Updates to the Draft Grant Road District Document

We have already received comments on the GRD at a set of public workshops in early February. A summary of these comments and the responses from the planning team are available at the project website under the link to the draft GRD document. This document will be periodically updated over the course of the next several months. An updated draft of the GRD Document will be made available for review in summer 2012.

Details about the full plan are available at [www.RTAmobility.com](http://www.RTAmobility.com).

The Regional Transportation Authority has a nine-member board with representatives from local, state and tribal governments.

This project will be managed by the City of Tucson.

FOR MORE INFORMATION  
CALL (520) 624-4727



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# 1. PURPOSE

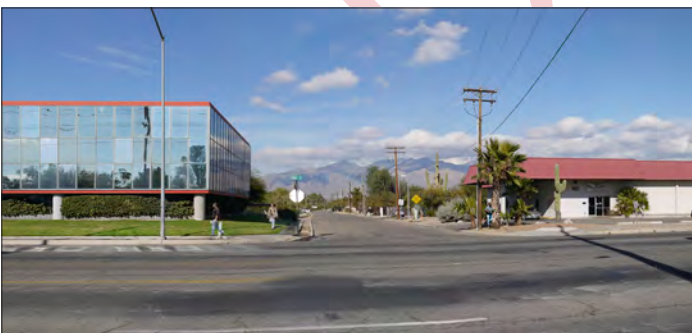
The purpose of the Grant Road District is to implement the shared vision of the Grant Road corridor created through the Grant Road Improvement Plan's Community Character & Vitality process. The shared vision for Grant Road was created through a multi-year process with input from a Citizens Task Force, corridor stakeholders (i.e., property and business owners, and adjacent residents), and the public at large, and resulted in a Grant Road Vision Statement & Guiding Principles, Planning Objectives, and Vision Concepts for Centers and Segments, all of which can be found in the Community Character & Vitality Plan. Overall, the Grant Road District aims to create a more walkable, vibrant, economically vital, and environmentally sustainable corridor that also protects the existing largely single-family residential neighborhoods adjacent to the mixed use areas along Grant Road.



**Existing Development**



**After Redevelopment**



**Existing Development**



**After Redevelopment**

Figure 1: Photosimulations of two locations along Grant Road illustrate the purpose of the Grant Road District. The first set of existing and after redevelopment conditions shows how an auto-oriented shopping center could transform into a walkable and bikeable mixed-use place with new parks, retail and office uses, as well as residences. The second set shows how an existing office building and retail building could transform into a set of new townhomes and residential flats and a mixed use retail and office building that create a more walkable environment along Grant Road as well as between new services on Grant Road and the existing single-family neighborhood beyond.



## 2. Applicability of the Grant Road District Standards

# 2. APPLICABILITY OF THE GRANT ROAD DISTRICT STANDARDS

The Grant Road District is an optional Urban Overlay Zone (LUC Section 2.8.13) for owners of property within the zone boundaries. Property owners may process their development application using the existing zoning or the overlay zone, which is meant to achieve the vision for Grant Road as defined in the Area and Neighborhood Plans that include the Grant Road planning area and the future vision and planning objectives of the Grant Road Community Character & Vitality Plan. Once a property owner selects to develop under the Grant Road District that becomes the zoning designation for the property and the previous zoning designation is no longer applicable.

The Grant Road District zoning standards include applicable sections of the City of Tucson Land Use Code (Chapter 23 of the Tucson Code, dated July 1, 1995 with supplements through to No. 56, dated August 14, 2011) with specific sections and exceptions defined in the GRD zoning standards. The Grant Road District zoning standards also include applicable sections of the City of Tucson Development Standards (with updates through May 1, 2009) with specific sections and exceptions defined in the GRD zoning standards.

Parcels where the Grant Road District is an option are identified in the Grant Road District boundary map, see Figure 2.a.

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## 2. Applicability of the Grant Road District Standards

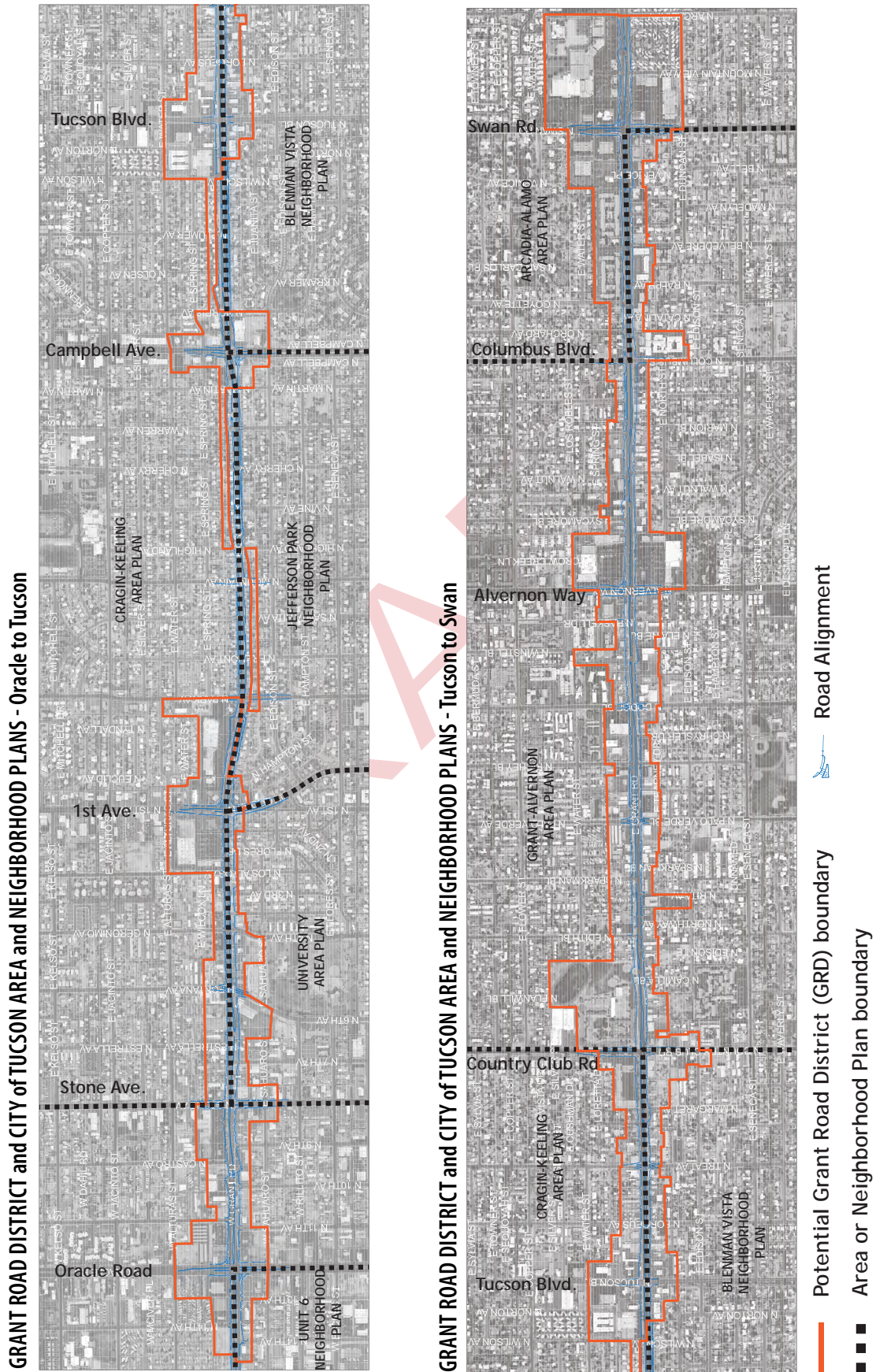


Figure 2.a: Grant Road District Boundary on map illustrating the current design of the Grant Road Improvement Project and the Area and Neighborhood Plan Boundaries.



## 2. Applicability of the Grant Road District Standards

### 2.1 Grant Road Zoning Categories

Each property in the Grant Road District has been assigned one of eight zoning categories, see Figure 2.b. The General Standards apply to all zoning categories, while category-specific standards apply only to properties in that category.

#### 2.1.1 Center Categories

##### Center Marketplace

This category directs reconfiguration of large shopping center sites into retail-centered mixed use places with improved multimodal access. It allows for phased transformation over time; allows intensity and creates walkability on new streets within sites; and requires high degrees of direct frontage onto Grant Road – whether for new “liner” buildings in existing sites or for newer larger buildings that may be part of a fully revitalized site.

##### Center Hub

This category creates active, mixed-use focal points at major intersections in centers with higher-intensity development that is sensitive to neighborhood context. This category includes key opportunity sites where active, mixed use community focal points are possible and desired by the community.

##### Center Crossroads

This category focuses intensity around major intersections in the western portion of the Grant Road District where a wide range of viable uses can take on a more urban form that contributes to the Grant Road pedestrian environment. It maintains wide flexibility concerning land uses in order to incorporate existing viable land uses of the area such as auto sales and service, but buildings must front directly onto Grant Road to a high degree. Upper floor *massing* is defined to frame and protect views.

##### Center Neighborhood

This category coalesces development into medium-intensity neighborhood-serving gathering places that draw neighborhood residents to walk to and along the new Grant Road. The category allows for a flexibility of use and intensity of activity that will encourage substantial revitalization of properties in order to transform auto-oriented strips into walkable neighborhood centers.

##### Center General

This category provides a transition from the more intensive areas of centers to adjacent Segments. This category often applies to smaller or shallower lots. Its standards provide transitions to the level and type of activity in adjacent Segments. It is intended to help preserve current viable commercial uses on Grant Road while enhancing the pedestrian environment.

#### 2.1.2 Segment Categories

##### Segment West

This category balances and supports a wide mix of uses with reinterpreted classic roadside architecture, the Motorcourt Frontage Type, that supports pedestrian activity along Grant Road. It mixes commercial, auto, industrial, retail, and residential uses. It balances the needs of regional-serving auto-based businesses and neighborhood-serving businesses.

##### Segment Central

This category creates active and engaging buffers between adjacent single-family neighborhoods and Grant Road. It allows for residential, office, live work, open space, and limited retail (small food and beverage establishments, such as delis and cafes) the height and massing requirements blend with the historic single-family residential neighborhood character.

##### Segment East

This category supports commercial viability and enhances community character. With retail focused in the Grant Road District’s Centers, this category increases the viability and vitality of Grant Road by allowing for a diversity of land uses with the addition of more office and residential uses. It also seeks to adapt properties to the walkable environment of the new Grant Road while allowing for enough auto parking to serve the types of uses that are likely to locate in this area.

## 2. Applicability of the Grant Road District Standards

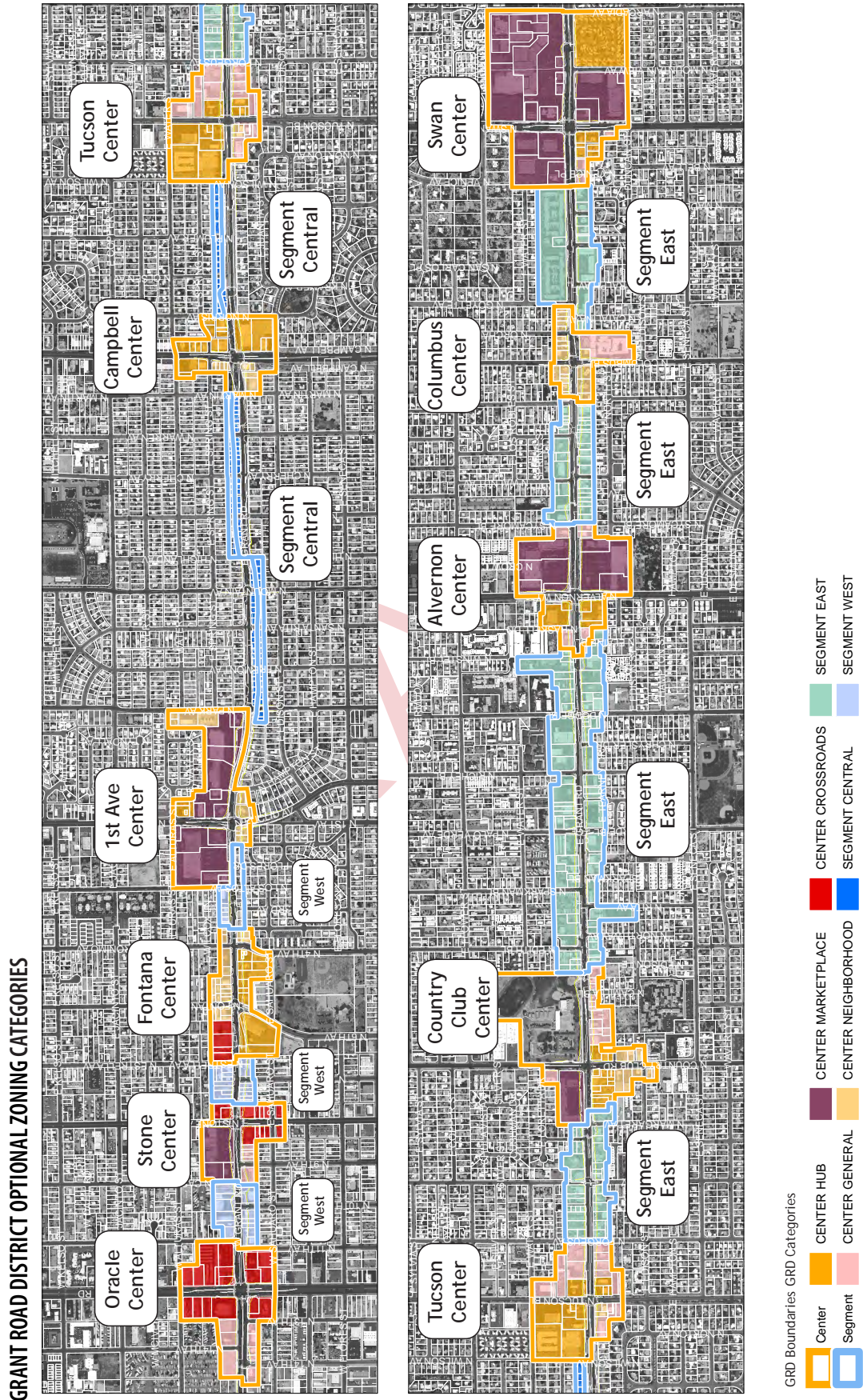


Figure 2.b: Grant Road District Zoning Category Map.



### 3. Grant Road District Standards Approach

## 3. GRANT ROAD DISTRICT STANDARDS APPROACH

The Grant Road District’s approach differs from that of the current City of Tucson Land Use Code in a few key ways.

First, in contrast to the Tucson Land Use Code, the Grant Road District standards emphasize the physical form of development and the relationship of development to surrounding neighborhoods, streets, and public open spaces. While the Grant Road District provides standards related to allowed uses and has performance standards for some uses, it does not regulate use to the level of detail that the LUC does in existing zoning districts. The GRD seeks to provide flexibility in specific land use while protecting surrounding uses from potential negative impacts, like noise and dust. Therefore, the GRD can more adequately address priorities for good urbanism, such as allowing for mixing of uses and flexibility of use over time, and more tightly controlling the relationship between a building and the sidewalk, and a building and an adjacent single-family neighborhood. Because of this approach, the Grant Road District is more flexible with regard to land use, as appropriate to specific locations along Grant Road. All of these consequences are supported by the community’s objectives for the future character of businesses, residences, and open spaces along Grant Road.

Second, the Grant Road District is built around place types that treat major streets as “seams” rather than boundaries and “dividers”. Many current City of Tucson Area and Neighborhood Plans largely treat Grant Road and other Major Streets and Routes as edges of both plan areas and established neighborhoods, and as such are not able to holistically consider Grant Road and its major intersections as unified, important places unto themselves and in a complementary relationship with the adjacent neighborhoods. The Grant Road District, in contrast, is built of place types that center on Grant Road and its major intersections. The GRD is built of two such place types: Centers and Segments. A Center is an area around Grant Road’s intersections with other major roads that contains concentrations of a mix of activities. Centers vary in size, scale, and diversity and are designed to be compatible with the residential neighborhoods around them. A Segment is an area that lines Grant Road between the Centers whose activity levels and buildings typically are smaller-scale. While some Segments contain auto-serving uses, they also support pedestrian and bicycle movement along Grant Road. Centers and Segments are the fundamental building block of the Grant Road Community Character and Vitality Plan and the Grant Road District; the distinctions among the GRD’s zoning categories are largely based on assembling successful Centers and Segments.

## 4. How to Use These Standards

### 4. HOW TO USE THESE STANDARDS

The Grant Road District supersedes portions of the City of Tucson Code Chapter 23 Land Use Code and Chapter 3 Sign Code, the City of Tucson Development Standards, and the City of Tucson/Pima County Outdoor Lighting Code.

Applicants opting to use the GRD need to look at two sets of standards in this document:

- A. The General Zoning Standards, which apply to all properties within the GRD boundary.
- B. The standards for the specific zoning category to which the applicant's property has been assigned in Figure 2.b.

The Grant Road District standards include a definition of terms that are unique to the GRD in Section 7 of this document. Terms that are defined are indicated by *italicized* text.

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## 5. General Zoning Standards

# 5. GENERAL ZONING STANDARDS

## 5.1 Purpose

The general standards applicable to all zoning categories are provided in order to avoid repetition between the standards for specific categories, and to provide an understanding of the broad goals and intent of the zoning district.

## 5.2 Applicability

The General Zoning Standards are applicable to all Categories within the Grant Road District.

## 5.3 Use Types and Mixing of Uses

The Grant Road District uses the Land Use Groups and Land Use Classes as defined in the Tucson LUC. See Article VI. Definitions. Division 3. Land Use Groups of the Tucson LUC for definitions. The uses allowed within the Grant Road District's zoning categories are described in the standards for each specific category.

While non-residential zoning districts in Tucson generally provide for a mix of commercial and residential uses, this has not resulted in the type of vibrant, walkable environment

that the community would like to see along Grant Road. The Grant Road District is intended to support the creation of a mixed use pattern of development that meets the community's goals.

This is done by allowing a broad range of uses within most of the Grant Road District zoning categories, similar to that allowed by existing commercial zones. Some of the categories allow a broader mix of uses with performance standards to mitigate potential negative impacts from noise, dust, etc. The zoning allows for a mix of uses within each Center and Segment as well as within individual properties. There is also a focus on providing a buffer and transition between the GRD and adjacent single-family neighborhoods. In order to achieve the desired mix of uses and character of development, the GRD allows for and supports both horizontal and vertical mixing of uses.

## 5. General Zoning Standards

**Horizontal Mixed Use** distributes uses side-by-side and maximizes access to uses by creating a compact and walkable environment, see Figure 5.3.a. Uses may be arranged along Grant Road where lots are shallower, and may also transition across larger properties with uses arranged around a courtyard, plaza or *pedestrian pass-through*. Horizontal mixing of uses can also serve to mitigate impacts on adjacent single-family neighborhoods by locating lower impact uses and lower-scaled buildings closer to more sensitive uses and those with higher impacts away from them. For example, a project containing shops, restaurants and townhomes can locate the shops and restaurants along the busier street and transition into a quieter setting with townhomes adjacent to existing single-family residential uses. Similarly, a project with industrial or service commercial uses, might locate those towards the street and locate small office spaces or live/work townhomes towards existing single-family residential uses.

**Vertical Mixed Use** stacks multiple, but compatible uses on the same parcel. The use at the ground floor is the most “public” and benefits from the most interaction with activity on the street and sidewalk, supporting the desired active environment along Grant Road, see Figure 5.3.b. These uses are often restaurants, shops, and offices. Uses above the ground floor typically desire greater privacy from an active sidewalk and street life. These are usually residences or office uses. When a *vertical mixed use* building is adjacent to a single-family neighborhood, the Grant Road District standards require a stepping down in the height of buildings closer to the adjacent neighborhood, and encourage complimentary uses such as offices, residences, open space, or parking in closer proximity to the neighborhood with landscaping and a wall nearest to the property line or alley.



Figure 5.3.a: Horizontal Mixed Use Diagram showing non-residential uses at the street and residential uses at the rear.

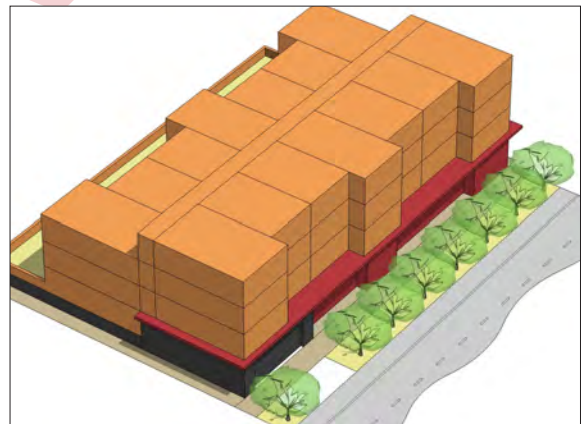


Figure 5.3.b: Vertical Mixed Use Diagram showing residences over retail.

## 5. General Zoning Standards

### 5.4 Block and Multi-Modal Circulation Standards

#### 5.4.1 Purpose

A vibrant pedestrian and transit supportive environment, such as that desired along Grant Road, has a circulation network designed for all modes of travel (i.e., vehicles, trucks, bicycles, and pedestrians) with streets, alleys, pathways and other travel routes that best serve each mode. These standards support the creation of blocks, streets, and other bicycle and pedestrian circulation improvements within the Grant Road District to conveniently and safely serve all modes in order to complement the pedestrian- and bicyclist-supportive redesign of Grant Road itself. See Figures 5.4.1.a and 5.4.1.b, which illustrate the redesigned Grant Road.

#### 5.4.2 Applicability

These block and street standards apply to all new development located within the Grant Road District where new streets are proposed and where existing streets do not meet the sidewalk and other improvement standards of the GRD.

The following street standards are applicable only for the pedestrian realm of the street, the area between the curb and the back of sidewalk, or back of landscape strip in certain cases, for collectors or local streets. Arterials perpendicular to Grant Road shall apply the Grant Road design within the pedestrian realm (*sidewalk area*). See section 3.2.13 of the Tucson Land Use Code and 3-01.0 of the Tucson Development Standards for roadway (curb-to-curb) areas and right-of-way standards for these streets.

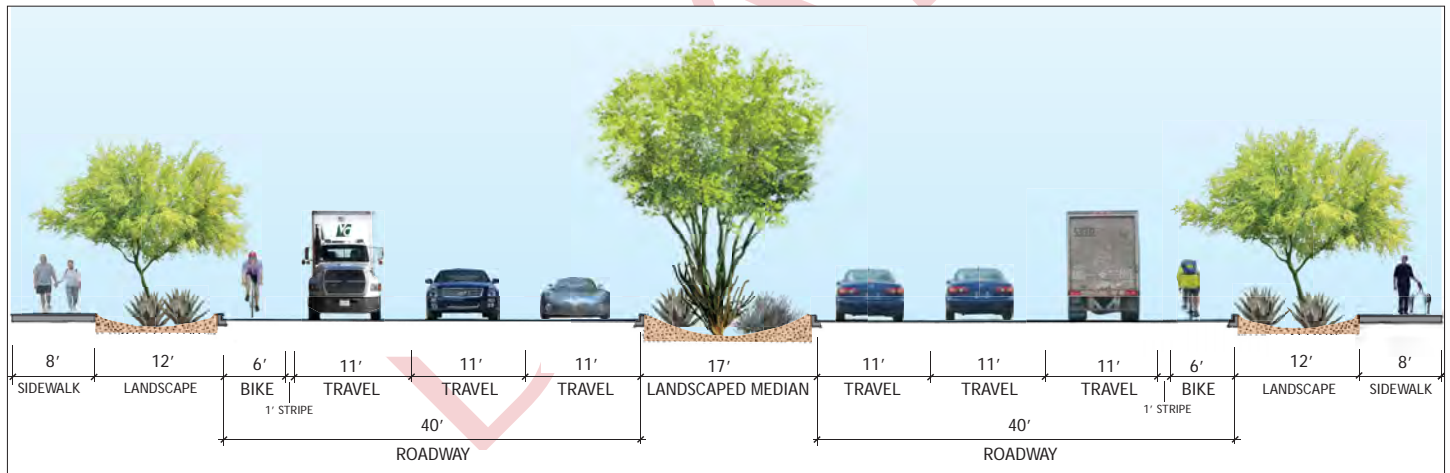


Figure 5.4.1.a and 5.4.1.b: Typical cross section of Grant Road Improvements and simulation of improvements at a bus stop.

## 5. General Zoning Standards

### 5.4.3 Block Standards

#### Purpose

Block standards for the Grant Road District are provided to guide new development, on larger sites in the GRD, in creating a pedestrian-friendly street network that provides pedestrians, bicyclists and drivers with easy access to destinations. An interconnected street network is essential to encouraging alternative modes of travel. Blocks that are compact reduce the real and perceived distance of walking for pedestrians, and more frequent intersections also reduce the repetitiveness of frontages and increase the amenities and destinations that are within a walkable range. Figure 5.4.3.a is illustrative of how a larger site along Grant Road could be transformed from a shopping center with large surface parking lots into a mixed center with a network of streets and blocks.

#### Standards

The following block standards give dimension of allowable street block sizes, expressed in feet of width and length for rectilinear blocks and perimeter circumference for irregular blocks.

- Block length per side: 500' max. linear feet
- Block perimeter length: 1,700' max.
- Block lengths and perimeters greater the standards defined herein shall break up the block with a pedestrian/bicycle access such as a pass-through that offers a direct connection to both ends of the block. See Section 5.4.4. Street Standards for pass-through standards.



Figure 5.4.3.a: Diagrammatic plan of before and after showing how an existing shopping center might redevelop using the GRD, illustrating how new streets create blocks sized to meet the design standards.

## 5. General Zoning Standards



Figure 5.4.4.a: Photo of an example sidewalk pedestrian realm that is comfortable and appealing for pedestrians.



Figure 5.4.4.b and 5.4.4.c: Examples of buffering between the pedestrian realm and the roadway, a photo of a built example and a simulation of the Grant Road Improvements.

### 5.4.4 Street Standards

#### Purpose

The following street standard dimensions are established for local (new and existing) and collector streets (for arterials see the Sidewalk Areas subheading in this section) to:

- Ensure adequate, comfortable, and attractive pedestrian realm along streets within the Grant Road District;
- Provide appropriate areas for landscaping to create a comfortable and appealing pedestrian realm that is attractively landscaped and shaded, see Figure 5.4.4.a;
- Create buffers between pedestrians and the roadway or parking lane and provide buffering for adjacent development where greater privacy or separation from the *public realm* is needed, see Figures 5.4.4.b and 5.4.4.c;
- Provide areas for water harvesting which can also serve as attractive landscape elements; and,
- Ensure that adequate space is provided for occupants of vehicles that are parked at the street curb to enter and exit.

These objectives further the standards as stated in the LUC 3.2.8. In particular:

- Increase public safety by minimizing the conflict between vehicular and pedestrian activities;
- Improve air quality in the City of Tucson by providing design standards for pedestrian circulation that support walking and transit as alternative modes of transportation; and,
- Provide for streets of suitable location, width, and improvement to safely accommodate vehicular, pedestrian, disabled pedestrian, and bicycle traffic.

## 5. General Zoning Standards

### Standards

#### General Standards

Where the following Grant Road District standards vary from the Tucson Development Standards Section 3-01.1.0, the GRD standards shall prevail.

Street Composition: Tucson Development Standards Section 3-01.2.0, with the following exception:

- existing on-street parking may not be reduced or eliminated, and new local streets must include parking on both sides of the street.

Street Layout: Tucson Development Standards Section 3-01.6.0 applies with the following exceptions:

- New local streets shall be arranged as an interconnected street grid.
- Permanent dead end streets shall not exceed the maximum defined block length, as per standards in the sub-heading for general standards in this section, of 500 feet without a *pedestrian pass-through*, see Figures 5.4.4.d and 5.4.4.e.

Intersection Sight Visibility: Per Tucson Development Standards Section 3-01.5.0.

Criteria for Cutting of Pavement: Per Tucson Development Standards Section 3-03.0.

Loading and Unloading Requirements reference LUC Section 3.4.4.1.A with the following exception:

- Loading and unloading may be accessed from a street abutting a residential zone provided that the loading area is at least 20 feet away from the zone boundary.

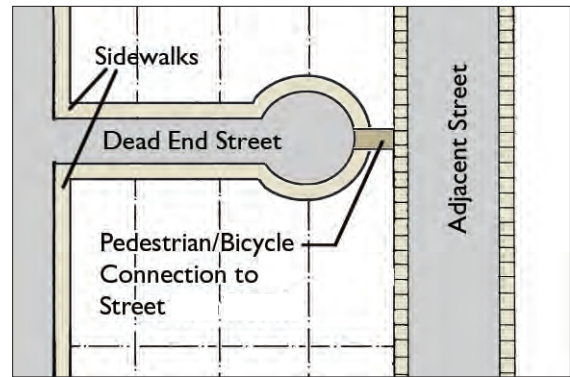


Figure 5.4.4.d: Diagram of a pedestrian-pass through connection between a dead end street and an adjacent street.



Figure 5.4.4.e: Photo of an example pedestrian pass-through.



## 5. General Zoning Standards

### Alleys

#### Applicability

The following standards apply to Public Alleys.

#### Standards

Twenty (20) foot right-of-way shall be standard for alleys within the Grant Road District.

Street Design Criteria: Tucson Development Standards Section 3-01.6.0 applies with the following exception:

- Alleys may be used as a primary point of access.

Street Improvements: Tucson Development Standards Section 3-01.3.0 applies with the following exceptions:

- Alleys shall be paved according to the standards for local streets.
- A 2-foot strip on either side may be enhanced pavement or special paving, including permeable paving such as brick pavers or other paving units on sand, permeable asphalt or concrete; and non-permeable surfaces such as stamped concrete, colored concrete, and paving units on a non-permeable base.

Solid Waste Disposal: Tucson Development Standards Section 6-01.2.1.B.1 shall apply.

Loading and Unloading Requirements: LUC Section 3.4.4.2.B shall apply with the following exceptions:

- Exception to LUC Section 3.4.4.2.B.1. The alley is used for access to only two (2) loading areas for sites larger than 20,000 square feet.
- Loading and unloading may utilize an alley when adjacent to a residential zone.

The following additional exceptions apply to Private Alleys:

- Private Alleys are permitted to be primary vehicular access to any lot.
- Are not required to be signed or striped.

## 5. General Zoning Standards

### Sidewalk Areas

#### Purpose

A *sidewalk area* is the term used in the Tucson Development Standards and Land Use Code for the area that “generally consists of a space between the curb and sidewalk, area for a sidewalk, and a ground slope area. Improvements include, but are not limited to, wheelchair ramps, sidewalks, driveways, utilities, street furniture, landscaping, and drainage structures.” (Development Code Section 3-01.2.7). In the Grant Road District, the *sidewalk area* typically consists of an area for landscaping, either within a strip or with tree well cutouts, a through sidewalk width for pedestrian travel along the sidewalk, and a “buffer” area along the edge of the sidewalk or adjacent building. See Figures 5.4.4.f through 5.4.4.h. In some cases, the buffer area is wide enough for outdoor seating or display of commercial goods, and in some conditions a landscape strip is provided between the back of walk and an adjacent wall, building, or parking facility.

#### Standards

- All streets require a *sidewalk area* on each side of the street.
- Reduction in the width of the *sidewalk area* below the minimum standards defined in Table 5.4.4.a is not allowed.

Tucson Development Standards Section 3-01.0 applies to the Grant Road District with the following exceptions:

- Sidewalk improvements meeting the minimum standards defined in Table 5.4.4.a are required for all new construction, and improvements to existing buildings and site development (other than cosmetic improvements or reconstruction of damaged improvements).
- Existing sidewalks shall transition either on or adjacent to the project site to match sidewalk standards provided in Table 5.4.4.a. Off-site improvements require evidence of agreement with adjacent property owner(s).



Figure 5.4.4.f: Photo of example sidewalk improvements on a collector street with a Public Storefront Frontage Type.



Figure 5.4.4.g: Photo of example sidewalk improvements on a collector street with a Parking Lot Frontage Type.



Figure 5.4.4.h: Simulation sidewalk improvements along the improved Grant Road with a Public Storefront Frontage Type.



# 5. General Zoning Standards

Table 5.4.4.a: Pedestrian "Realm" Standards for Collector and Local Streets<sup>[1]</sup>

Frontage Type	Marketplace, Crossroads, and Hub Centers					Neighborhood Centers				
	Collector w/o Parking	Collector w/ Parking and Water Harvesting Basin	Collector w/ Parking [2]	Local w/ Parking and Water Harvesting Basin	Local w/ Parking [2]	Collector w/o Parking	Collector w/ Parking and Water Harvesting Basin	Collector w/ Parking [2]	Local w/ Parking and Water Harvesting Basin	Local w/ Parking [2]
Public Storefront	TYPE 1 18' total 10' landscape w/ trees 8' sidewalk	TYPE 3 21' total 3' parking access walk 8' landscape w/ trees 10' sidewalk	TYPE 2 16' total 6' for trees w/ grates 10' sidewalk				TYPE 3 18'-5" total 2'-6" parking access walk 8' landscape w/ trees 8' sidewalk	TYPE 2 14' total 6' for trees w/ grates 8' sidewalk		
Private Storefront	TYPE 4 18' total 10' landscape w/ trees 6' sidewalk 2' landscape strip	TYPE 5 21' total 3' parking access walk 8' landscape w/ trees 8' sidewalk 2' landscape strip	TYPE 6 16' total 6' for trees w/ grates 8' sidewalk 2' landscape strip				TYPE 5 18'-5" total 2'-6" parking access walk 8' landscape w/ trees 6' sidewalk 2' landscape strip	TYPE 6 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip		
Arcade	TYPE 1 18' total 10' landscape w/ trees 8' sidewalk	TYPE 3 21' total 3' parking access walk 8' landscape w/ trees 10' sidewalk	TYPE 2 16' total 6' for trees w/ grates 10' sidewalk				TYPE 3 18'-5" total 2'-6" parking access walk 8' landscape w/ trees 8' sidewalk	TYPE 2 14' total 6' for trees w/ grates 8' sidewalk		
Porch	TYPE 4 18' total 10' landscape w/ trees 6' sidewalk 2' landscape strip	TYPE 5 21' total 3' parking access walk 8' landscape w/ trees 8' sidewalk 2' landscape strip	TYPE 6 16' total 6' for trees w/ grates 8' sidewalk 2' landscape strip				TYPE 5 18'-5" total 2'-6" parking access walk 8' landscape w/ trees 6' sidewalk 2' landscape strip	TYPE 6 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip		
Service Garage	TYPE 1 18' total 10' landscape w/ trees 8' sidewalk	TYPE 3 21' total 3' parking access walk 8' landscape w/ trees 10' sidewalk	TYPE 2 16' total 6' for trees w/ grates 10' sidewalk				TYPE 3 18'-5" total 2'-6" parking access walk 8' landscape w/ trees 8' sidewalk	TYPE 2 14' total 6' for trees w/ grates 8' sidewalk		
Public Yard	TYPE 1 18' total 10' landscape w/ trees 8' sidewalk	TYPE 3 21' total 3' parking access walk 8' landscape w/ trees 10' sidewalk	TYPE 2 16' total 6' for trees w/ grates 10' sidewalk				TYPE 3 18'-5" total 2'-6" parking access walk 8' landscape w/ trees 8' sidewalk	TYPE 2 14' total 6' for trees w/ grates 8' sidewalk		
Private Yard	TYPE 4 18' total 10' landscape w/ trees 6' sidewalk 2' landscape strip	TYPE 5 21' total 3' parking access walk 8' landscape w/ trees 8' sidewalk 2' landscape strip	TYPE 6 16' total 6' for trees w/ grates 8' sidewalk 2' landscape strip	TYPE 3 16'-5" total 2'-6" parking access walk 8' landscape w/ trees 6' sidewalk	TYPE 1 OR 2 13' total 6' for trees w/ grates or landscaped tree wells 7' sidewalk	TYPE 1 16' total 10' landscape w/ trees 6' sidewalk	TYPE 5 18'-5" total 2'-6" parking access walk 8' landscape w/ trees 6' sidewalk 2' landscape strip	TYPE 6 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip	TYPE 1 OR 2 12' total 6' for trees w/ grates or landscaped tree wells 6' sidewalk	
Courtyard with Public Storefront, Arcade, Service Garage, Public Yard, or Park Plaza Frontage	TYPE 1 18' total 10' landscape w/ trees 8' sidewalk	TYPE 3 21' total 3' parking access walk 8' landscape w/ trees 10' sidewalk	TYPE 2 16' total 6' for trees w/ grates 10' sidewalk				TYPE 3 18'-5" total 2'-6" parking access walk 8' landscape w/ trees 8' sidewalk	TYPE 2 14' total 6' for trees w/ grates 8' sidewalk		
Courtyard with Private Storefront, Porch, or Private Yard Frontage	TYPE 4 18' total 10' landscape w/ trees 6' sidewalk 2' landscape strip	TYPE 5 21' total 3' parking access walk 8' landscape w/ trees 8' sidewalk 2' landscape strip	TYPE 6 16' total 6' for trees w/ grates 8' sidewalk 2' landscape strip				TYPE 5 18'-5" total 2'-6" parking access walk 8' landscape w/ trees 6' sidewalk 2' landscape strip	TYPE 6 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip		
Shared Motorcourt with Public Storefront, Arcade, Service Garage, Public Yard, or Park Plaza Frontage	TYPE 1 18' total 10' landscape w/ trees 8' sidewalk	TYPE 3 21' total 3' parking access walk 8' landscape w/ trees 10' sidewalk	TYPE 2 16' total 6' for trees w/ grates 10' sidewalk				TYPE 3 18'-5" total 2'-6" parking access walk 8' landscape w/ trees 8' sidewalk	TYPE 2 14' total 6' for trees w/ grates 8' sidewalk		
Shared Motorcourt with Private Storefront, Porch, or Private Yard Frontage	TYPE 4 18' total 10' landscape w/ trees 6' sidewalk 2' landscape strip	TYPE 5 21' total 3' parking access walk 8' landscape w/ trees 8' sidewalk 2' landscape strip	TYPE 6 16' total 6' for trees w/ grates 8' sidewalk 2' landscape strip				TYPE 5 18'-5" total 2'-6" parking access walk 8' landscape w/ trees 6' sidewalk 2' landscape strip	TYPE 6 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip		
Parking Lot	TYPE 3 18' total 10' landscape w/ trees 6' sidewalk 2' landscape strip	TYPE 5 21' total 3' parking access walk 8' landscape w/ trees 10' sidewalk	TYPE 6 16' total 6' for trees w/ grates 8' sidewalk 2' landscape strip				TYPE 5 18'-5" total 2'-6" parking access walk 8' landscape w/ trees 6' sidewalk 2' landscape strip	TYPE 6 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip		
Park/Plaza	TYPE 1 18' total 10' landscape w/ trees 8' sidewalk	TYPE 3 21' total 3' parking access walk 8' landscape w/ trees 10' sidewalk	TYPE 2 16' total 6' for trees w/ grates 10' sidewalk				TYPE 3 18'-5" total 2'-6" parking access walk 8' landscape w/ trees 8' sidewalk	TYPE 2 14' total 6' for trees w/ grates 8' sidewalk		

# 5. General Zoning Standards

Frontage Type	General Center, West Segment, and East Segment				Central Segment				
	Collector w/o Parking	Collector w/ Parking and Water Harvesting Basin	Collector w/ Parking [2]	Local w/ Parking and Water Harvesting Basin	Local w/ Parking [2]	Collector w/o Parking	Collector w/ Parking and Water Harvesting Basin	Collector w/ Parking [2]	Local w/ Parking [2]
Public Storefront			<p><b>TYPE 2</b> 14' total 6' for trees w/ grates 8' sidewalk</p> <p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>			<p><b>TYPE 1</b> 16' total 10' landscape w/ trees 6' sidewalk</p>	<p><b>TYPE 3</b> 15-6" total 1-6" parking access walk 8' landscape w/ trees 6' sidewalk</p>	<p><b>TYPE 2</b> 14' total 6' for trees w/ grates 8' sidewalk</p> <p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>	<p><b>TYPE 1</b> 14' total 8' landscape w/ trees 6' sidewalk</p>
Private Storefront			<p><b>TYPE 2</b> 14' total 6' for trees w/ grates 8' sidewalk</p> <p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>						
Arcade			<p><b>TYPE 2</b> 14' total 6' for trees w/ grates 8' sidewalk</p> <p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>						
Porch			<p><b>TYPE 2</b> 14' total 6' for trees w/ grates 8' sidewalk</p> <p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>						
Service Garage			<p><b>TYPE 2</b> 14' total 6' for trees w/ grates 8' sidewalk</p> <p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>						
Public Yard			<p><b>TYPE 5</b> 14' total 6' for trees w/ grates 6' sidewalk</p> <p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>						
Private Yard	<p><b>TYPE 1</b> 16' total 10' landscape w/ trees 6' sidewalk</p>	<p><b>TYPE 3</b> 16' total 2' parking access walk 8' landscape w/ trees 6' sidewalk</p>	<p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>	<p><b>TYPE 1 OR 2</b> 12' total 6' for trees w/ landscaped tree walls 6' sidewalk</p> <p><b>15-6" total</b> 1-6" parking access walk 8' landscape w/ trees 6' sidewalk</p>		<p><b>TYPE 1</b> 16' total 10' landscape w/ trees 6' sidewalk</p>	<p><b>TYPE 3</b> 15-6" total 1-6" parking access walk 8' landscape w/ trees 6' sidewalk</p>	<p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>	
Courtyard with Public Storefront, Arcade, Service Garage, Public Yard, or Park Plaza Frontage			<p><b>TYPE 2</b> 14' total 6' for trees w/ grates 8' sidewalk</p> <p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>						
Courtyard with Private Storefront, Porch, or Private Yard Frontage			<p><b>TYPE 2</b> 14' total 6' for trees w/ grates 8' sidewalk</p> <p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>						
Shared Motorcourt with Public Storefront, Arcade, Service Garage, Public Yard, or Park Plaza Frontage			<p><b>TYPE 2</b> 14' total 6' for trees w/ grates 8' sidewalk</p> <p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>						
Shared Motorcourt with Private Storefront, Porch, or Private Yard frontage			<p><b>TYPE 2</b> 14' total 6' for trees w/ grates 8' sidewalk</p> <p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>						
Parking Lot			<p><b>TYPE 6</b> 14' total 6' for trees w/ grates 6' sidewalk 2' landscape strip</p>						
Park/Plaza			<p><b>TYPE 2</b> 14' total 6' for trees w/ grates 8' sidewalk</p>						

[1] Total dimensions do not include 6 inch vertical curb.

[2] Water harvesting can be accommodated with structural soils under sidewalk.

## 5. General Zoning Standards



Figure 5.4.4.k: TYPE 1 - Sidewalk and landscape area with trees.

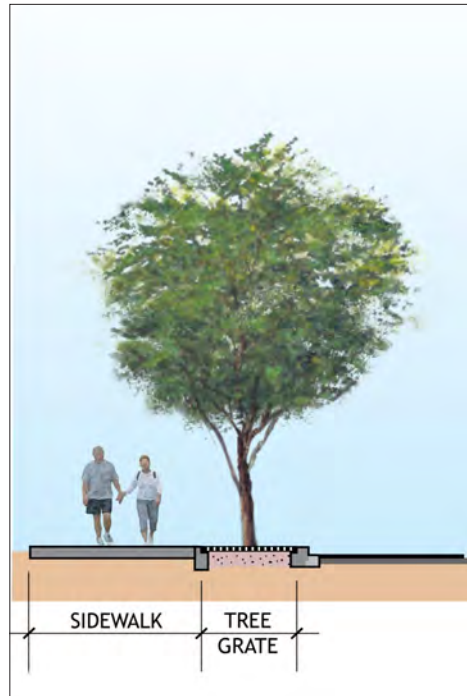


Figure 5.4.4.l: TYPE 2 - Sidewalk and trees in grates.

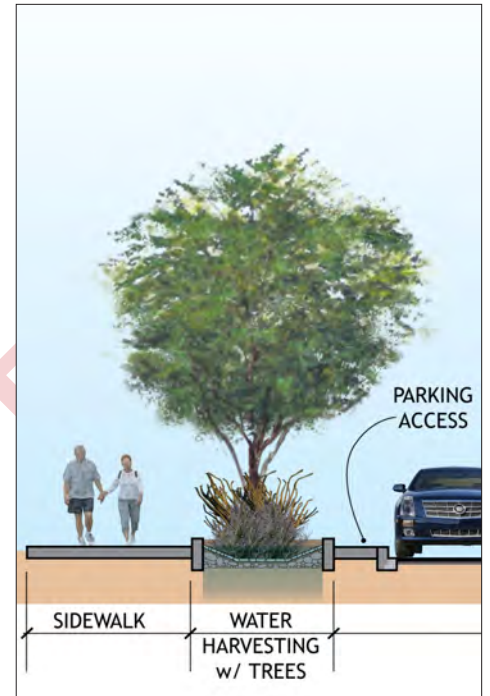


Figure 5.4.4.m: TYPE 3 - Sidewalk and water harvesting landscape with trees and paved parking access.



Figure 5.4.4.n: TYPE 4 - Landscape strip with sidewalk and landscape area with trees.

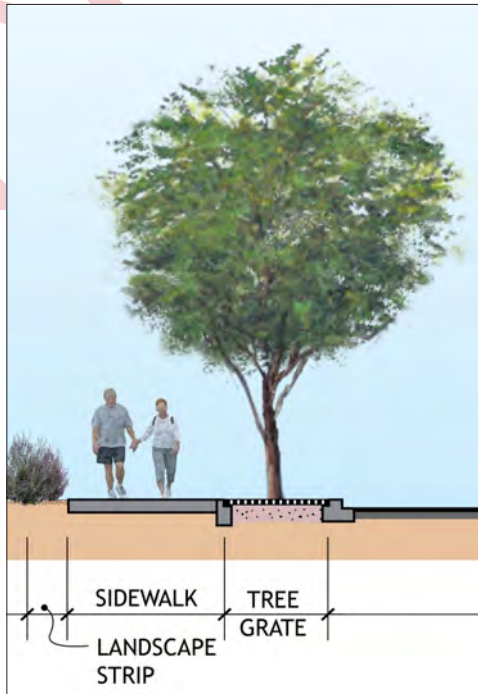


Figure 5.4.4.o: TYPE 5 - Landscape strip with sidewalk and trees in grates.

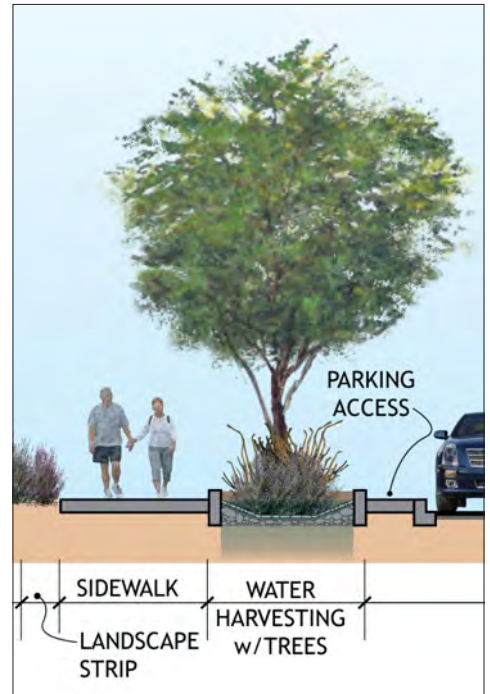
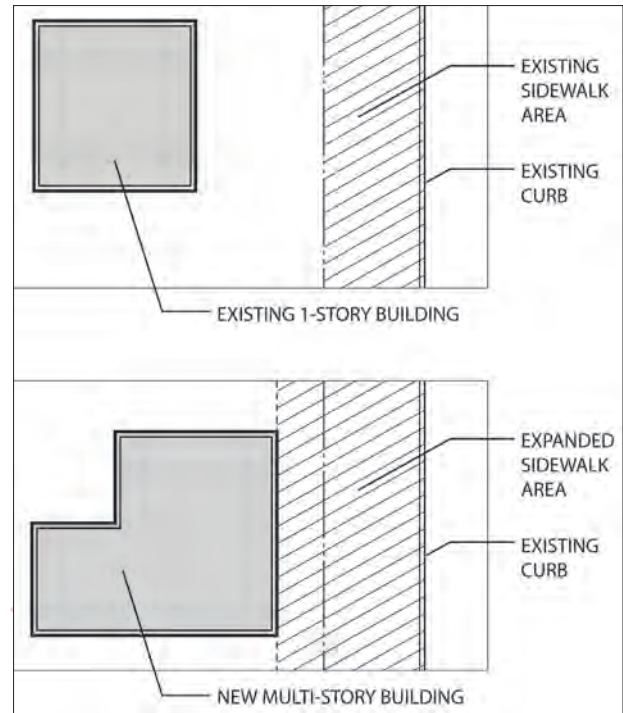


Figure 5.4.4.p: TYPE 6 - Landscape strip with sidewalk and water harvesting landscape with trees and paved parking access.

## 5. General Zoning Standards

- Streets within the Grant Road District shall include all elements defined in Table 5.4.4.a, with no exceptions for reductions to minimum widths or elimination of elements.
- In some cases the *sidewalk area* requirements of the Grant Road District will extend beyond existing street right-of-way, in which case the *sidewalk area* shall either be dedicated to the City or put into a public access easement. See Figures 5.4.4.q and 5.4.4.r.
- Table 5.4.4.a provides minimum widths for sidewalk elements for local and collector streets. Variations are based on level of expected pedestrian activity, allowed frontage types, and other conditions. See Figures 5.4.4.k through 5.4.4.p at left. Dimensions defined in this table supersede Illustration 3.2.8.4.A of the Development Standards.
- The design of the *sidewalk area* for arterial streets within the Grant Road District shall follow the Grant Road standard.



Figures 5.4.4.q and 5.4.4.r: Comparison of existing sidewalk area with Grant Road improvements and dedication/easement.

Tucson Development Standards Section 3-01.3.0 applies to the Grant Road District with the exception of the following:

- Vertical curbing is required on all streets. Wedge or rolled curbs are prohibited.
- At intersections of alleys with streets within the GRD a curb cut is the desired method for connecting the street and alley as this will allow for the through portion of the sidewalk, a 6 foot minimum width, to pass across the connection to the alley at roughly the same grade as the adjacent sidewalk. The returns of the curb cut shall have a minimum radius of twelve (12) feet and a maximum radius of fifteen (15) feet. If the alleys are not paved, the ends of the curb returns will be connected with a concrete header at the back of sidewalk, see Figure 5.4.4.s.
- Meandering sidewalks (Pedestrian Parkways) are prohibited.

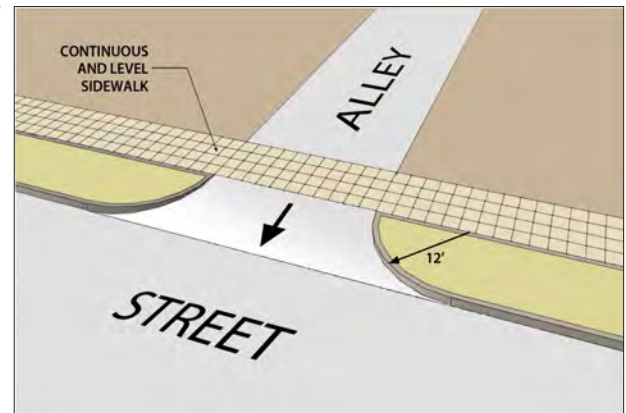


Figure 5.4.4.s: Diagram of GRD standards for a curb cut providing access to an alley.

## 5. General Zoning Standards

**Construction Standards:** Tucson Development Standards Section 3-01.4.0 applies to the Grant Road District with the exception of the following:

- **Ramp direction:** Curb ramps shall align in the direction of crosswalks, with two per corner at each intersection and at right angles to the curb, rather than having one “diagonal” curb ramp per corner. See Figures 5.4.4.t and 5.4.4.u.
- Sidewalk grades shall be maintained across driveways and at the intersections of alleys and streets.
- Sidewalk paving material and design shall remain continuous across driveways, curb cuts, and intersections with alleys. See Figure 5.4.4.v and 5.4.4.w.



Figure 5.4.4.t and 5.4.4.u: Diagram and photo example of directional curb ramps.

## 5. General Zoning Standards

### Driveways

#### Standards

- **Accessible Route Cross Slope:** Driveway aprons will be reconstructed so the sidewalk portion of the apron does not exceed two (2) percent cross slope. Sidewalks shall not meander around driveway aprons.

- Dropped driveways are not allowed. See Figures 5.4.4.x and 5.4.4.y.
- See Section 5.7. Site Design for additional driveway and access standards.

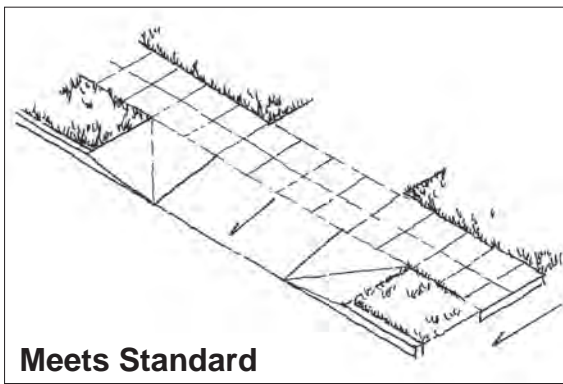


Figure 5.4.4.v and 5.4.4.w: Diagram and photo example of continuous paving across driveway.

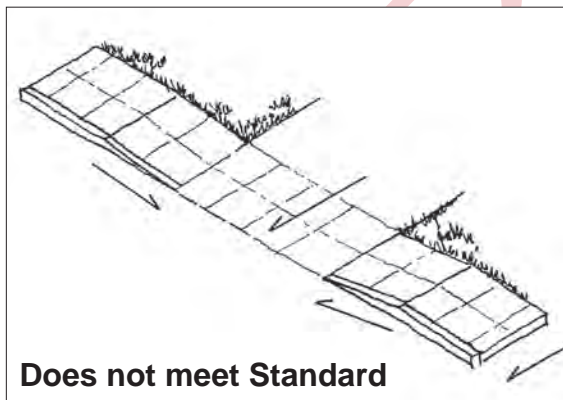


Figure 5.4.4.x and 5.4.4.y: Diagram and example photo of a dropped driveway condition which do not satisfy the GRD standards.

## 5. General Zoning Standards

### Pedestrian Pass-throughs

#### Purpose

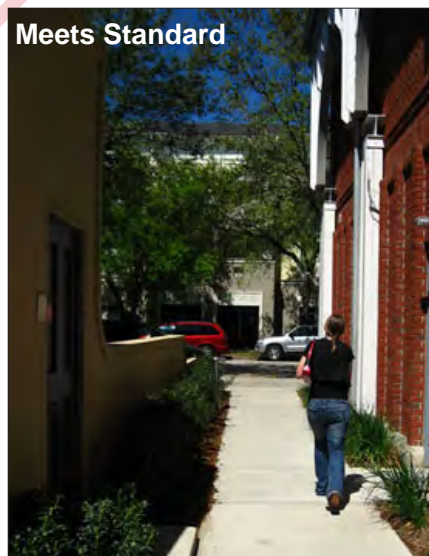
*Pedestrian pass-throughs* are public or private accessways, or pedestrian connections, that extend the *public realm* of the street sidewalk by allowing pedestrians access between buildings or through parcels where a local street is not feasible or desirable. See Figures 5.4.4.z through 5.4.4.bb. Buildings may side-on to a *pedestrian pass-through*, although pedestrian amenities are provided to create an inviting and safe space. A *pedestrian pass-through* can be integrated into the open space of a Courtyard or Motorcourt frontage type.

#### Standards

- Pass-throughs are required where blocks cannot be maintained at less than 500 feet in length or where they are needed to provide a direct route to nearby schools or public parks.
- Pass-throughs shall be a ten (10) foot minimum width and shall be as straight as possible to improve sightlines and security. *Pedestrian pass-throughs* shall be visible from publicly accessible streets or open spaces, from at least one end of the pass-through, for safety.
- Minimum clear walkway width shall be six (6) feet wide.
- Pass-throughs, which are made available through public/private agreements shall be accessible between the hours of 6:00am and 10:00pm.
- Pass-throughs shall visually and physically connect pedestrians to meaningful destinations such as open spaces, streets, shops, building entries, and parking lots.
- Pass-throughs shall avoid terminating at the backs of buildings, loading areas, and storage and refuse areas.
- Pass-throughs shall provide ample lighting. See Section 5.8 Lighting for height and design for light standards and other lighting standards.
- Pass-throughs shall be landscaped and paved at a level of design and quality that encourages their use so that they do not become neglected or dangerous spaces. Landscape elements may include planters and/or planting beds, trellises, arbors, water features, murals, decorative paving, seating, art and decorative lighting. Decorative fences and walls are allowed.
- Fences and walls fronting onto pass-throughs may extend up to a maximum of eight (8) feet, with decorative screening elements, which may be up to a maximum of ten (10) feet.
- Decorative screening elements, such as arbors, lattices, or grill work that extend above eight (8) feet in height shall be a minimum of 20% visually permeable.
- Buildings that abut pass-throughs should orient uses that with some level of activity towards the pass-throughs. This might include day care facilities, conference rooms, office spaces, etc.



Does not meet standard



Meets Standard



Meets Standard

Figures 5.4.4.z through 5.4.4.bb: Photo examples of pedestrian pass-throughs from other communities. The pass-through in Figure 5.4.4.z meets standards with the exception of minimum walkway width.

## 5. General Zoning Standards

- Secondary entrances to buildings may be accessed from pass-throughs.
- Building walls and landscape walls siding onto pass-throughs shall be articulated and shall follow blank wall standards of the associated frontage type.

### Water Harvesting in Streets

#### Purpose

If non-major streets within the Grant Road District are improved, the developer should incorporate rainwater harvesting into any improvements they make to the street and its pedestrian realm, utilizing a water harvesting approach that fits with the design intent of the street standards detailed in this section of the GRD. Rainwater harvesting can provide additional water to street trees and other landscaping; can remove harmful pollutants from runoff from storms; can mitigate floods; can store water for other uses; and can provide for attractive landscape and potentially *functional open space*. Rainwater harvesting elements range from passive swales, infiltration trenches and rain gardens that can detain, retain, and filter rainwater runoff to active underground cisterns that can store water for later reuse. Each one of these approaches may be appropriate for streets in the GRD depending on the size and design of the street and the adjacent uses.

There are an increasing number of good examples of passive water harvesting associated with street improvements, such as Scott Street in Downtown Tucson, see Figure 5.4.4.dd, the improvements around the pocket park in the Broadmoor-Broadway neighborhood south of Broadway, see Figure 5.4.4.cc, and the improvements to Grant Road will also create new examples as its phases are constructed.

#### Applicability

These standards apply to any public and private street and pedestrian realm within the Grant Road District.

#### Standards

- When a development makes improvements to an adjacent street or pedestrian realm that includes water harvesting features stormwater that is generated within the development's property can flow into the water harvesting features if a hydrologic study and stormwater management plan is prepared and approved by the Director.
- See Section 5.10 Environmental Resources for additional water harvesting standards.



Figures 5.4.4.cc and 5.4.4.dd: Photo examples of passive water harvesting associated with street improvements in Tucson.

## 5. General Zoning Standards



Figure 5.4.5.a: Simulation illustrating a chicane providing traffic calming and pedestrian amenities at an entry point between new development on Grant Road and an adjacent neighborhood.



Figure 5.4.5.b: Diagram of a chicane located between driveways.

### 5.4.5 Traffic Calming

#### Purpose

Traffic calming in the Grant Road District will serve to minimize potential traffic impacts resulting from development of properties in the GRD on adjacent residential and other existing development. The goal is to encourage drivers traveling to and from the development to use Grant Road or other major streets, to slow the development or residential traffic that enters an adjacent neighborhood, and to give identity to neighborhood entries as well as create opportunities for additional landscape and open space.

The necessity for traffic calming on local streets serving adjacent neighborhoods depends on a number of factors that can affect the amount of traffic generated along these streets. Should traffic calming be necessary, a narrowing of the roadway through a chicane or choker may be utilized to achieve the GRD's traffic calming goals.

#### Applicability

These standards apply to new development or redevelopment with at least one access directly onto a local street or with at least one access to an alley that connects to a local street, when the local street provides access to an adjacent existing residentially zoned area and if the new uses increase ADT on the local street beyond the ADT that the current uses of the site generate by 15% or more and there is an increase in trips of at least 100 during the a.m. or p.m. peak hour.

## 5. General Zoning Standards

### Standards

- A chicane or choker with a speed table is the preferred traffic calming feature, see Figure 5.4.5.a.
- An alternative traffic calming feature may be used if approved by TDoT.
- The preferred location for a chicane is in proximity to the transition from the GRD zone to the adjacent residential neighborhood.
- Chicanes or chokers should be located between driveways. See Figure 5.4.5.b
- Where a chicane or choker must be located in front of a driveway it shall be designed to allow access from the driveway onto the speed table. See Figure 5.4.5.c.
- Chicanes shall extend out into the roadway to create a deflection in the roadway such that vehicles are prevented from taking a straight and unobstructed line through the chicane or they may create a Yield lane where the roadway is narrowed to one lane for both directions, a choker.
- Signage shall be provided to indicate the travel condition (e.g., yield and/or speedtable).
- The length and location of chicanes shall be determined based on an analysis of factors including the unique environment of the street, expected traffic volume, and desired speed reduction.
- The design of a chicane or choker shall be approved by TDoT, and property owners within 100 feet of the traffic calming improvement shall be notified and given the opportunity to comment on the design of the improvement.
- Chicanes shall provide additional improvements along the *sidewalk area* such as landscaping, stormwater management, or hardscape accompanied by seating and planters. Shade shall be provided with seating.
- Frontage conditions shall be taken into account in determining the character of the additional *sidewalk area*.

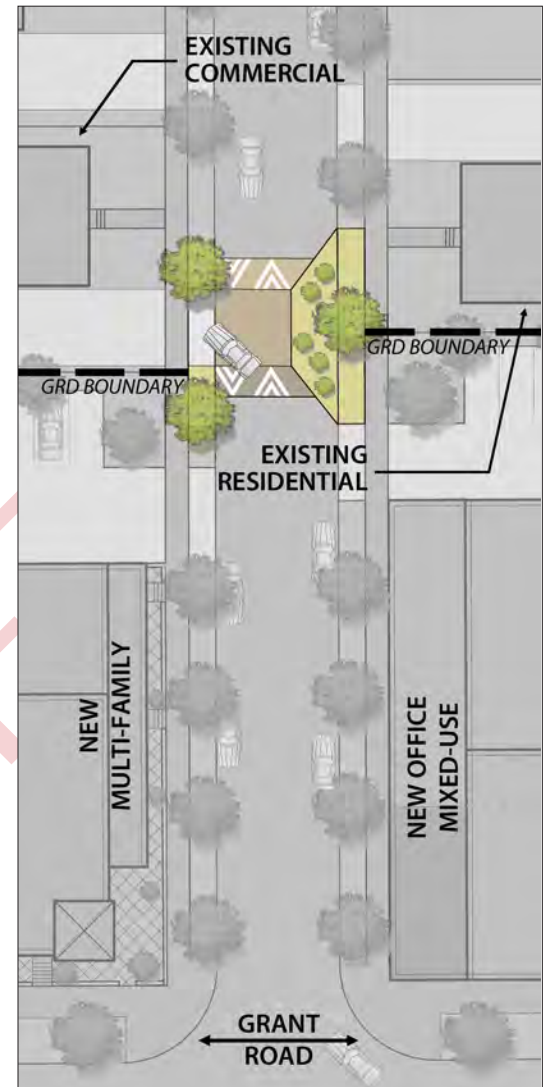


Figure 5.4.5.c: Diagram of a chicane and speed table at driveway where location restrictions exist.

## 5. General Zoning Standards

### 5.5 Street Frontage and Building Placement Standards

#### 5.5.1 Purpose

*Street Frontage* and Building Placement Standards address the ways in which buildings and the sites relate to streets and neighboring properties in the Grant Road District. The way in which sites “front” onto Grant Road, cross streets, other circulation networks, and public open spaces, and the way sites abut onto neighboring sites address major objectives of the Grant Road Community Character and Vitality Plan and the GRD. The *street frontage* of properties adjacent to Grant Road is a major contributor to the character of the street with the goal of being pedestrian supportive. Other site boundaries help define the relationship between the more urban and mixed use development along Grant Road and the residential neighborhoods behind it.

#### 5.5.2 Applicability

The Grant Road District’s *Street Frontage* and Site Boundary Standards address a site’s perimeter differently than in the City of Tucson Land Use Code (largely addressed in Section 3.2.6). The GRD method for determining *perimeter yards* is applicable only to the GRD.

#### 5.5.4 Perimeter Yard and Build-to Line (BTL)

##### Purpose

*Perimeter yards* and *build-to lines* regulate building placement in relation to a site boundary, helping to define *street frontage* and side and rear site boundaries.

##### Applicability

*Perimeter yards* and *build-to lines* are applicable to all parcels within the GRD. The specific standards for *perimeter yards* and *build-to lines* vary by GRD zoning category and can be found in Section 6 Grant Road District Categories.

Each lot or site must have building façade at the *build-to line* for a given minimum percentage of its frontage along a street., see Figure 5.5.4.a. This percentage depends on the GRD Category that applies to the parcel. The location of the *build-to line* also varies by GRD Category, and sometimes by frontage type. The percentage of each site’s *street frontage* that is needed to satisfy the minimum coverage requirement may be either at the *build-to line* or set back further into the site, and like all *street frontage* it must meet the other requirements of the frontage types, see Section 5.5.7 Screening.

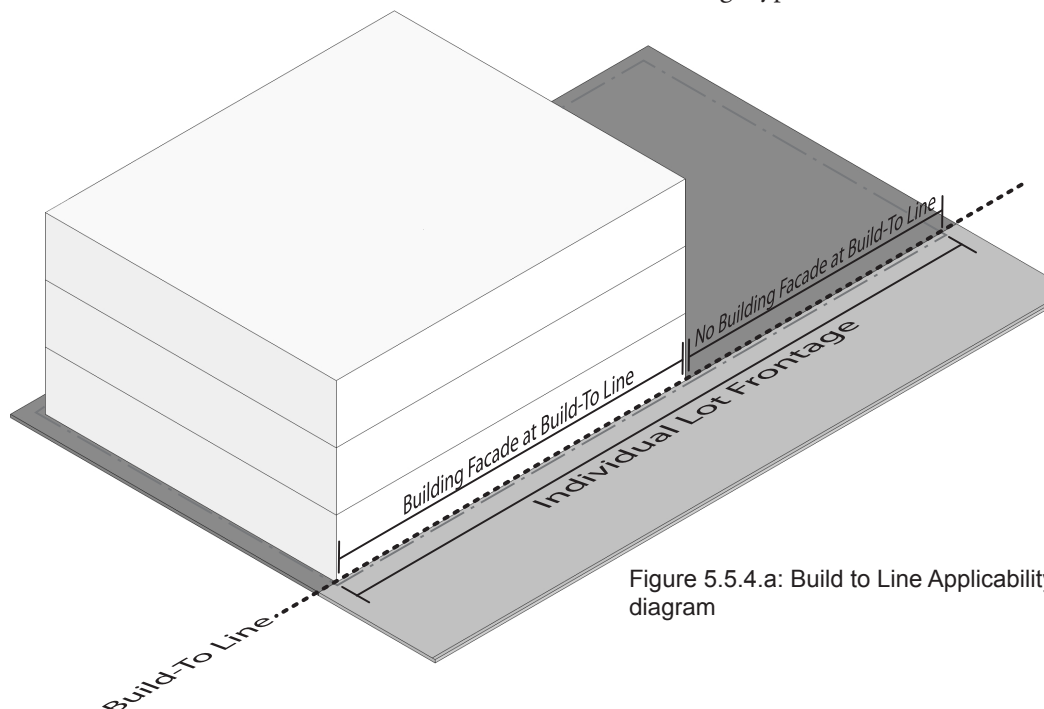


Figure 5.5.4.a: Build to Line Applicability diagram

## 5. General Zoning Standards

### Measurement

**Perimeter Yard:** Per Land Use Code Section 3.2.6.3, with the following exception:

- Excluding the minimum requirement for *perimeter yard* to be 3 feet.

**Build-to Line (BTL):** A *build-to line* is measured by taking the horizontal distance from a) the exterior property line along Grant Road or b) the back of the *sidewalk area* on other streets, to the face of each exterior building wall at the wall's lowest point, see Figure 5.5.4.b. A vertical structural member (i.e., post, column, dormer wall) supporting a roof extension from the principal structure is considered a wall for applying *perimeter yard* and *build-to line* requirements.

If the *build-to line* is more than 0 feet, that number signifies the maximum distance that the building façade can be back from the point of measurement along the street while still complying with the *build-to line* requirement.

In order to accommodate structural columns, building *articulation* at the façade, and other architectural elements, a building façade can jog back from the *build-to line* and still be counted as meeting the *build-to line* requirement as long as the variation is no more than 2 feet.

**Setbacks:** *Setbacks* are measured from the *build-to line*.

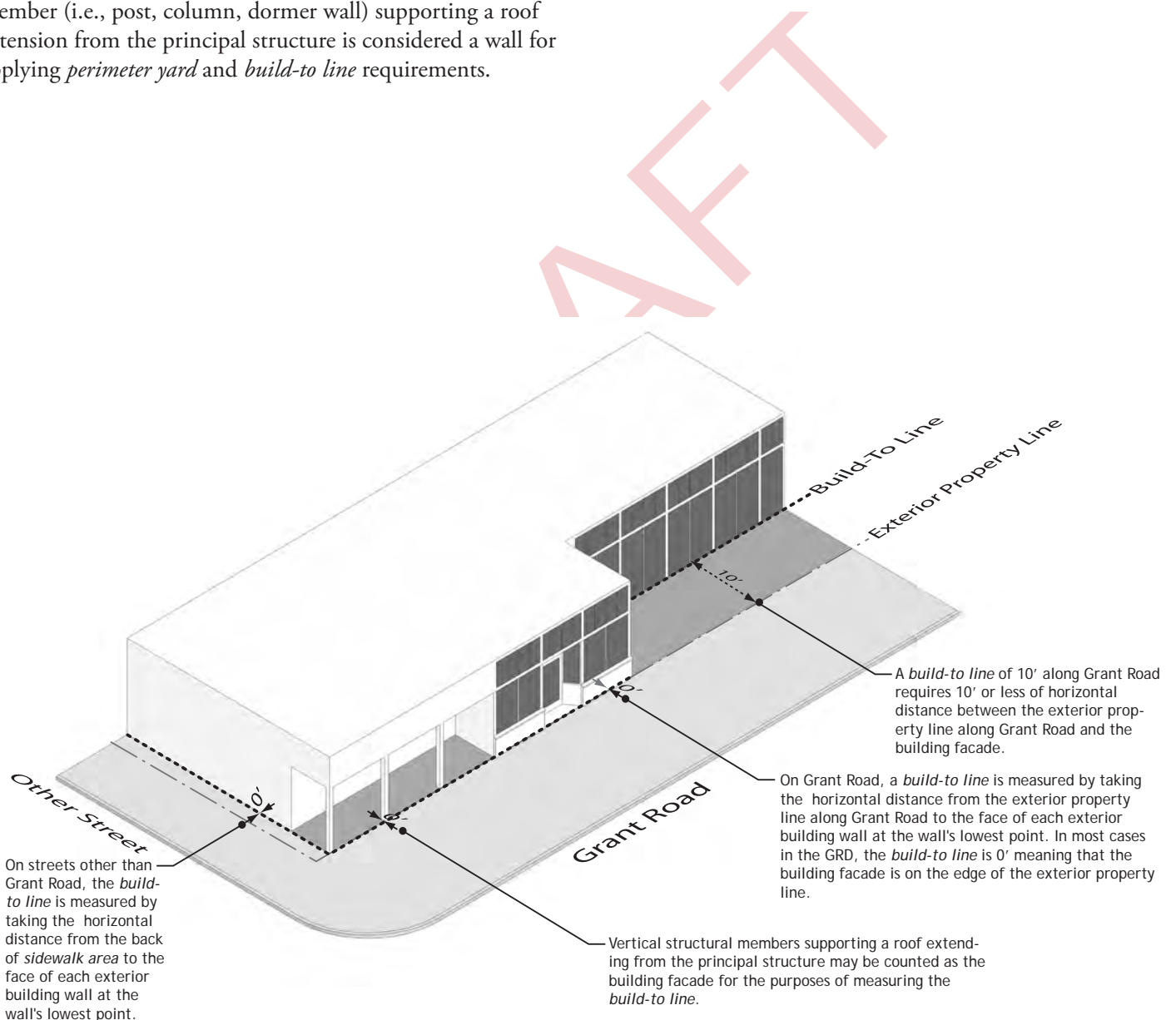


Figure 5.5.4.b: Build to Line measurement diagram.

## 5. General Zoning Standards

### Exceptions

A choice of frontage type can change the requirements for a *build-to line*, see Figure 5.5.4.c. For example, in some categories, choice of the Public Yard frontage type to occupy a portion of the *street frontage* allows for the *build-to line* to be up to 25 feet back from the right-of-way line. Choice of the Shared Motorcourt frontage type reduces the percentage of *individual lot frontage* required to have building façade at the *built to line*. See Section 6 Grant Road District Categories for specific standards.

**Parks, Plazas, and Recessed Entries:** Parks, plazas, and recessed entries may count toward the *build-to line* coverage requirement and the intersection corner requirement. Parks and plazas must conform to the Park or Plaza Frontage Type.

**Curved Corner Frontage:** Along curved corner frontage, the *build-to line* can be achieved if the building façade is no more than 35% of the radius of the curve back from the point of measurement, see Figure 7.c in Section 7. Definitions.

**District Parking:** *District parking* lots are exempt from *build-to line* requirements. If a *district parking* lot is part of a development, the length of its street frontage may be removed from consideration of the *built-to line* coverage requirement.

**Setbacks:** *Setbacks* allow for additional area to widen a sidewalk to provide more space for pedestrians, active uses such as seating, dining and display, or landscaping where **vertical elements**, such as walls or fences, are present to allow for landscape planting to soften the edge.

### Standards

**Perimeter Yard:** Per Land Use Code section 3.2.6.3, with the following exception:

- For an unbroken section of a wall or a building that is not parallel with the lot line, the required *perimeter yard* may be less than 3 feet.
- For specific standards for *perimeter yards* and *build-to lines*, see dimensional standards in the diagrams and tables for each zoning category in Section 6. Grant Road District Categories.

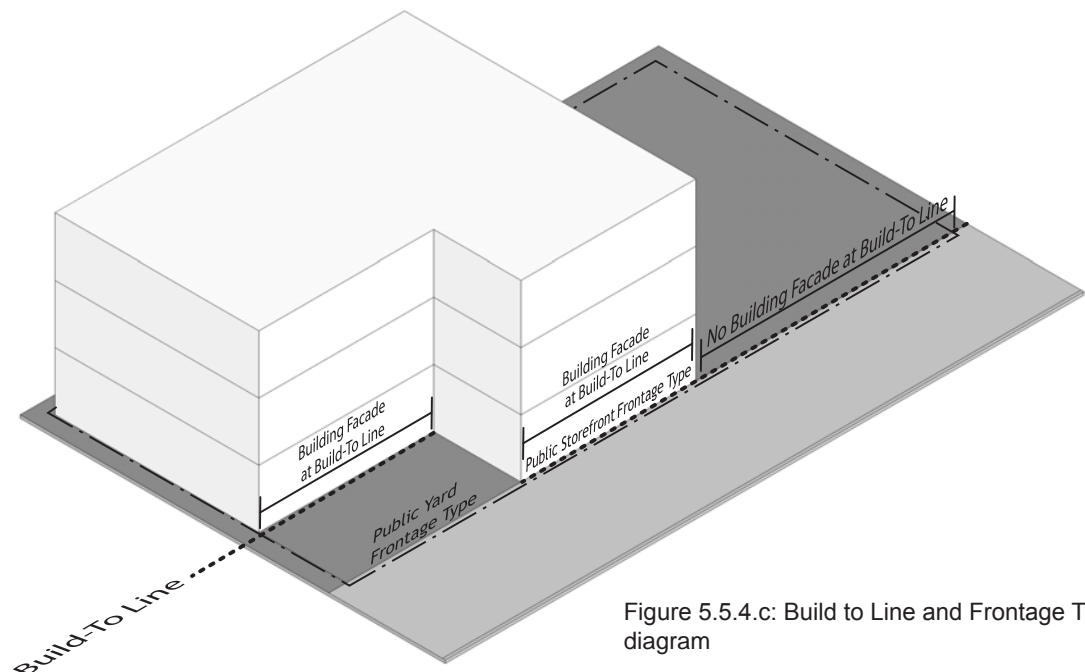


Figure 5.5.4.c: Build to Line and Frontage Types diagram

## 5. General Zoning Standards

### 5.5.6 Encroachments

#### Purpose

*Encroachments* define exceptions for building or landscape structures to project into areas that would otherwise prohibit private built elements. *Encroachments* allow greater flexibility for development to increase *building articulation* and create comfortable or active pedestrian spaces.

#### Standards

- Awnings, arbors and canopies may encroach into the *perimeter yard* up to 8 feet and into the public R.O.W. and publicly accessible open spaces up to 6 feet and must maintain a vertical clearance of 8 feet above the surface of sidewalks, pathways, or landscaped areas.
- Building eaves and bays may encroach into the *perimeter yard* or public right-of-way up to 6 feet, but must maintain required building and fire code separations at interior *perimeter yards*.
- The display of merchandise, dining facilities or seating may encroach into sidewalks, pass-throughs or publicly accessible open spaces such that a minimum 6' clear through zone is maintained for pass-throughs and 5' minimum for sidewalks.

### 5.5.7 Frontage Types

#### Purpose

Grant Road frontage types help define the character of Grant Road by identifying configurations of buildings, yards, open spaces, and other built elements and how they front onto the streets adjacent to a site as well as other public and semi-public spaces. The frontage types cover the range of conditions that exist along Grant Road and the community's vision for the specific character of the Centers and Segments in the Grant Road District, whether built or unbuilt, public or private, pedestrian-focused or auto-accessible spaces. The unique list of types represented here should cover the range needed to complement the Grant Road design in creating a supportive "context" for the new multi-modal street.

Frontage types define the street level portion of the building or space within a parcel that engages the *public realm* and *semi-public realm* of the street and open spaces along the street that are associated with some of the frontage types. Standards for the upper stories of buildings are defined in the Section 5.6.2 Building Articulation, and by the specific standards for the zoning categories within Section 6 Grant Road District Categories. Standards for the upper stories of buildings are defined in the Section 5.6.2 Building Articulation.

#### Applicability

All portions of *public frontage* for a given site must be occupied by one of the frontage types allowed for each Grant Road District Category or site access. Applicants must delineate all lengths of *public frontage* for their projects and note which allowed frontage type(s) apply along the *public frontage*. For a list of *frontage types* allowed under each Category, see Section 6 Grant Road District Categories.

## 5. General Zoning Standards



### Public Storefront

#### Purpose

The Public Storefront frontage type is a major basis for the character of the Grant Road Centers and is also a part of the Segments that link together the Centers along Grant Road. This type provides an open, welcoming face to the street and easy movement between the sidewalk and places of business or gathering. In the Public Storefront type, the building façade directly abuts the sidewalk and is characterized by frequent entrances and large areas of windows to provide visual *transparency* to the activity inside of the building. Enhanced detail and *articulation* in the façade design elements at the ground floor activate the public realm.

#### Standards

##### Windows

- Window Area Minimum: 75% of the length of street level building façade, as measured between 3' to 6'-8" above adjacent interior finish floor elevation.
- Includes windows, display windows, *transom windows*, and transparent doors.
- Opaque and reflective glazing and films are prohibited. Reflectivity shall not exceed 25% visual reflection for exterior of glazing system, and tinting shall not reduce *transparency* of standard glass by more than 35%. Low E or similar glazing treatments are preferred to minimize loss of *transparency*.
- Obscuring of glass: 25% maximum by temporary signage. Interior shelving or display not meant for outdoor interest shall not exceed a maximum of 4' above finished floor elevation.

##### Entrances

- Distance between Entries: 50' max.
- Recess: 8' max.
- See the entrances portion of Section 5.6.2 Massing and Articulation for building entry design character standards.

## 5. General Zoning Standards

### Blank Wall

- Maximum continuous horizontal length of blank wall along frontage façade of a building (i.e., the length of solid blank wall between windows or doors):
  - Grant Road and Other MS&R Arterial Streets: 12'
  - Other Streets: 18'
- Landscaping, art, signage, and/or other architectural elements shall be utilized to break up blank walls greater than 10' in length.

### Shading Elements

- Required on storefronts on MS&R for 75% min. length of building frontage; preferable in relation to *glazed area* of façade.
- Shading elements include: awnings, arbors, canopies, and similar architectural features.

### Encroachments

- Clear Height over Sidewalk: 8' min.
- Public Right of Way Overhang Encroachment: 6' max. No structure may come to grade within the public right of way.

### Setback (to building)

- Maximum Building *Setback*: 3'
- Building setback shall be comprised of additional sidewalk to enhance the sidewalk environment by providing additional space for pedestrians, outdoor seating and dining, or display.
- See Section 6. Grant Road District Categories of the GRD for individual zoning category requirements for percentage of façade required at the *build-to line* (BTL).

## 5. General Zoning Standards



### Private Storefront

#### Purpose

The Private Storefront frontage type is much like the Public Storefront, but it typically is employed by uses either not visited by the general public or those where visitation is appointment-based, such as professional or medical offices. The Private Storefront provides a measure of privacy for offices and other uses within buildings by allowing for some opacity of windows and the potential for a landscape screen to separate the facade from the sidewalk. But the Private Storefront also contributes to the Grant Road street environment by employing many of the aspects of the Public Storefront, such as direct or nearly direct frontage on the sidewalk, and a high ratio of glazing to solid wall.

#### Standards

##### Windows

- Window Area Minimum: 60% of the length of street level building façade as measured between 3' to 6'-8" above adjacent interior finish floor elevation.
- Includes windows, display windows, *transom windows*, and transparent doors.
- Opaque and reflective glazing and films are prohibited. Reflectivity shall not exceed 35% visual reflection for exterior of glazing system, and tinting shall not reduce *transparency* of standard glass by more than 45%. Low E or similar glazing treatments are preferred to minimize loss of *transparency*.

##### Entrances

- Distance between Entries: 75' max.
- Recess: 8' max.
- See the entrances portion of Section 5.6.2 Massing and Articulation for building entry design character standards.

## 5. General Zoning Standards

### Blank Wall

- Maximum continuous horizontal length of blank wall along frontage façade of a building (i.e., the length of solid blank wall between windows or doors):
  - Grant Road and Other MS&R Arterial Streets: 10’.
  - Other Streets: 16’.
- Landscaping, art, signage, and/or other architectural elements shall be utilized to break up blank walls greater than 10’ in length.

### Shading Elements

- Required on storefronts on MS&R for 60% min. length of building frontage; preferable in relation to *glazed area* of façade.
- Shading elements include: awnings, arbors, and canopies.

### Encroachments

- Clear Height over Sidewalk: 8’ min.
- Public Right of Way Overhang Encroachment: 6’ max. no structure may come to grade within the public right of way.

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## 5. General Zoning Standards



### Arcade

#### Purpose

The arcade frontage type is an open air space that is created by a colonnade supporting the upper floors of a building where the street-level façade of the building is set back. The arcade frontage provides protection from inclement weather and creates shade along the exterior of a building for pedestrians and interior uses, as such it is a particularly useful frontage for warmer climates like Tucson's. Arcades are accompanied with a set back public or private storefront frontage.

#### Standards

##### Dimensions

- Minimum Height: 12' clear.
- Minimum Depth: 8' clear.
- Minimum Height of arcade opening: 10'.

##### Design

- The arcade shall be treated as part of the main façade with similar architectural treatment.
- The width of arcade opening shall match the pattern of storefront windows and entrances.
- The height and the proportions of arcade elements shall be consistent with the proportions and style of the *building facade*.
- Balconies may be located above the arcade where upper stories are set back to create a gallery.
- Planters, signage, lighting, that are mounted to the arcade or building are allowed.

##### Shading Elements

- Shading elements that are mounted to the arcade or building are allowed.

## 5. General Zoning Standards

### Encroachments

- Any projections into the arcade shall maintain a minimum clear height of 8' and minimum 6' width clear through space.
- Display of goods, dining, seating, signage, lighting and other pedestrian amenities are allowed within the arcade space as long as a minimum 6' width clear through space is maintained.
- Right-of-Way Encroachments:
  - Arcade shall be located solely within private property and shall not project into the right-of-way.

### Paving

- Special paving is encouraged within the arcade space; at a minimum the paving shall meet City of Tucson public sidewalk standards.

### Frontage Types

- The Arcade shall be combined with the Private or Public Storefront Frontage Types. The Private or Public Storefront facade is set back at the ground floor and shall follow standards for those frontage types.

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## 5. General Zoning Standards



### Porch

#### Purpose

The Porch frontage type accommodates living or working spaces needing a degree of privacy from the street but that still front onto it and engage the sidewalk. It provides privacy by setting back the main façade of the building and, in some cases, elevating the main floor, with a set of stairs and small yard in front of the façade. The porch creates the transition zone between the public space of the sidewalk and the private space of the building. It creates an inviting entry that offers protection from the elements.

#### Standards

##### Dimensions

- Porch Height
  - Floor Elevation Above Sidewalk: 6" min. and 3' max.
  - Height: 1 story max. for the porch space, but may have balcony above.
- Porch Clear Area
  - Height: 8' min. clear.
  - Depth: 6' min. clear.
  - Width: 8' min. clear.

##### Design

- Porches shall have a roof for shading and weather protection; a balcony may be located above a porch to satisfy this requirement.
- Porches should be designed to be consistent with the proportions, form, character and style of the main *building facade*.

##### Windows

- Window Area Minimum: 50% min. length of street level building façade.

## 5. General Zoning Standards

### Entrances

- Distance between entries: 60' max. or at least one entry per unit.
- Each porch shall be connected to the sidewalk by a direct pedestrian pathway.
- See the entrances portion of Section 5.6.2 Massing and Articulation for building entry design character standards.

### Blank Wall

- Maximum continuous horizontal length of blank wall along building façade (i.e., the length of solid blank wall between windows or doors):
  - Grant Road and other MS&R Streets: 20'.
  - Other Streets: 20'.

### Landscape

- The yard between the *sidewalk area* and the building shall be landscaped and include a combination of trees, shrubs, groundcovers, and/or landscape structures.
- Vertical Delineation: a vertical element such as a wall, or fence may be located within the *setback* to delineate the front yard.
  - Maximum Height of Fences or Walls: 8'
  - Elements above 4' shall maintain a minimum 60% *visual permeability*.
  - Setback to Vertical Element: A 2' minimum deep landscaped area shall be provided between the *sidewalk area* and any vertical element.
    - Landscaping shall comprise a minimum of 80% of the landscape *setback* not including the circulation space that directly connects the porch to the *sidewalk area*.

### Frontage Types

- Porches may be combined with the Public and Private Yard, Courtyard, and Shared Motorcourt Frontage Types at the *building facade*. Building facades shall follow standards for those frontage types.

## 5. General Zoning Standards



### Service Garage

#### Purpose

The façade of the Service Garage frontage type includes roll-up door entrances but must also include a primary pedestrian entrance to the building and a high degree of window coverage; primarily used for auto commercial services, light industrial, wholesale distribution, live/work, and similar business operations.

#### Standards

##### Windows

- Main Façade Glazing: 60% min. length of street level façade as measured between 3' to 6'-8" above adjacent interior finish floor elevation (excluding the garage door width from this calculation).
- Glazed area may be transparent or translucent.
- Extensive glazed garage doors are encouraged.

##### Entrances

- Width of Garage Opening: 24' max.
- Door Recess: 1' max.
- Garage Door Glazing: 20% min.
- Maximum one garage opening per *street frontage*.
- Minimum one pedestrian entrance per *street frontage*.

##### Blank Wall

- Maximum continuous horizontal length of blank wall along frontage façade of a building (i.e., the length of solid blank wall between windows or doors):
  - Grant Road and Other MS&R Streets: 10'.
  - Other Streets: 16'.
- Landscaping, art, signage, and/or other architectural elements shall be utilized to break up blank walls greater than 10' in length.



Meets Standards



Meets Standards



Does Not Meet Standards

## 5. General Zoning Standards

### Shading Elements

- Required on facade fronting along MS&R.
- Required on storefronts along MS&R for 60% min. length of building frontage (including the garage door width for this calculation).

### Encroachments

- Clear Height over Sidewalk: 8' min.
- Public Right of Way Overhang Encroachment: 6' max. no structure may come to grade within the public right of way.

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## 5. General Zoning Standards



### Public Yard

#### Purpose

The Public Yard accommodates many of the outdoor activities that already take place on Grant Road, including eating, gathering, and display of commercial goods, but not parking. These activities can animate the street environment and provide pedestrian interest, especially if given the proper space for an engaging relationship with the street, and so this frontage type is an important component of Centers and Segments. The Public Yard is an outdoor space in front or at the side of a building that is open to patrons or residents, and which may also be accessible to the public. It should be delineated from the sidewalk, but easily visible and accessible.

#### Standards

##### Dimensions

- The dimensions of the yard should conform to the site design requirements mandated by each zoning category of the Grant Road District.

##### Landscape

- The public yard shall be delineated from the sidewalk by a change in material or a vertical delineation. This can be done in several ways, including:
  - Change in Material: Planting, decorative hardscaping, gravel, and/or other permeable surface. Asphalt is prohibited except for drive accessing parking area or service area beyond the public yard.
  - Vertical delineation: wall, seat wall, fence, landscape buffer, planters, entry gateway, and/or arbors.
    - Maximum Height of Fences and Walls: 8’.
    - Elements above 4’ shall maintain a minimum 60% *visual permeability*.
    - Chainlink and razor wire are not allowed.
    - Low walls may be used as integral seating.

## 5. General Zoning Standards

- Setback to vertical element: A 2’ minimum deep landscaped area shall be provided between the *sidewalk area* and any vertical element.
  - Landscaping shall comprise a minimum of 80% of the landscape setback not including the circulation space that directly connects the yard to the *sidewalk area*.
- For maximum distance from building see individual zone categories under *Build-to Line*.

### Frontage Types

- 100% of a Public Yard’s “Yard Frontage” shall be occupied by any combination of the frontage types allowed on the adjacent Street Frontage or a side or rear property line (see Figure 5.5.7.a).

### Notes

- Yard Frontage is comprised of all edges of the yard except for those that are *Street Frontage*.
- The yard shall not be used for automobile parking or any other vehicular use.
- Yard Minimum Occupiable Space:
  - Residential Use: 10%.
  - Non-residential Use: 50%.

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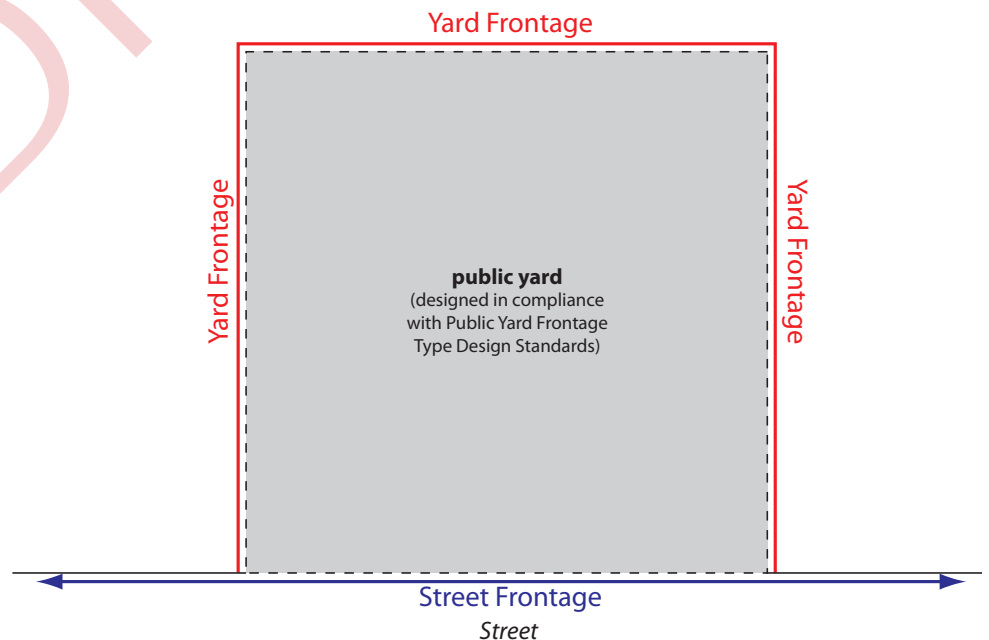


Figure 5.5.7.a: Yard Frontage diagram

## 5. General Zoning Standards



### Private Yard

#### Purpose

The Private Yard accommodates outdoor space with a definition of privacy between the yard and the public street or open space, yet still balances privacy with animation of the sidewalk environment. The building and a tall wall along the perimeter of the front yard define the Private Yard to create a private or semi-private, outdoor room; this is a historic Tucson building form. Towards the street, this wall serves as the street façade along the sidewalk in lieu of a building. This configuration has the potential to eliminate the semi-public zone that provides a welcoming transition between the sidewalk and the building, reducing the sense of presence along the street. Also, whereas interior building activity can be sensed and provide a level of presence or “eyes on the street”, front yards typically see less activity. As a result, the frontage of the Private Yard must contain a high level of *articulation* and detail to create an engaging and dynamic frontage.

#### Standards

##### Entrances

- Entries into the yard shall be detailed to complement the design of the vertical screen.

##### Blank Wall

- Maximum Continuous Horizontal Length of Blank Wall: 10' along streets.
- Lengths of wall greater than 10' shall be modulated or provide relief by a combination of the following means: change in horizontal profile (i.e., jogs in plane), material, architectural detail or other feature that breaks up the wall with complex texture, depth, and interest.
- The use of openings in the fence or wall at eye-level should be provided to allow for some visual connection between the yard and the sidewalk. These could be screened or grilled for security. Some *visual permeability* in the design of access gates is particularly desirable. See figures at right. Grills or screens shall provide at least 40% visual permeability.

## 5. General Zoning Standards

### Landscape

- Vertical delineation: The Private Yard shall be vertically delineated from the *sidewalk area*.
  - The private yard is delineated from the sidewalk by a substantial vertical built element. This can be done in several ways, including:
    - Walls, fences or raised planters.
    - Materials may include concrete, adobe, stucco, block and/or metal.
    - Chainlink and razor wire is not allowed.
  - Maximum Height of Fences and Walls: 8'.
    - Elements above 6' shall maintain a minimum 40% *visual permeability*.
  - Vertical elements shall not be the sole means of delineation and shall be accompanied by a landscape palette of a combination of trees, shrubs, cacti, and/or groundcovers, in the space between the *sidewalk area* and the vertical element.
  - Setback to vertical element: A 2' to 6' deep landscaped area shall be provided between the *sidewalk area* and any vertical element.
    - Landscaping shall comprise a minimum of 80% of the landscape setback not including the circulation space that directly connects the yard to the *sidewalk area*.



### Notes

- For corner lots:
  - All faces of a wall shall be treated similarly in detail.
  - Walls shall not obstruct vehicular sightlines.

## 5. General Zoning Standards



### Courtyard

#### Purpose

The Courtyard Frontage Type is a combination of building and yard frontage that draws from Tucson’s architectural heritage and responds to Tucson’s climate. The frontage onto the adjacent street has two components: *building facades* and, between them, an internal open space, which is referred to as a courtyard. Building façades side or front onto the sidewalk (directly or with a small yard), and bracket a courtyard that is either separated from the sidewalk by a high wall, low wall or fence, landscape, or is open to the street. The configuration essentially creates a “U” shape as the buildings wrap around the courtyard space. Interior, main entries to individual units, storefronts, or lobbies front onto the courtyard. The courtyard is a shared common area for the uses surrounding it.

Because of its U-shaped configuration, this type differs from other frontage types (with the exception of the Motorcourt type) in that it is defined by multiple “public” or “semi-public” frontages: those that are located directly adjacent to streets (Street Frontage) as well as those frontages that surround the courtyard’s internal space (Courtyard Frontage). Because these frontages act as secondary transition zones between the public and private realm, these standards are defined for both public and internal courtyard frontages.



Photos: Flagstaff Public Review Draft Zoning Code



#### Standards

##### Dimensions

- Courtyard (open area):
  - Minimum: 1:1.6 ratio of courtyard width (the dimension parallel to the *street frontage*) to building height or 18’ whichever is larger, and the depth (the dimension perpendicular to the *street frontage*) shall be at least 20’.

## 5. General Zoning Standards

- Maximum: 3:1 ratio of courtyard width to building height or 60' whichever is less, there is no standard for maximum depth of a courtyard.
- Minimum *building facade* at Courtyard Frontage (see Figure 5.5.7.b): 80%

### Entrances

- A minimum 5' walkway shall connect the sidewalk along the street that the courtyard fronts onto, to internal courtyard entries and the courtyard space.
- Primary entrances to buildings shall be directly accessed from the courtyard or the street.
- Minimum courtyard entry spacing shall comply with the associated frontage type for the buildings fronting onto the courtyard.

### Landscape

- The courtyard shall be open to the sky.
- Vertical Delineation: The courtyard shall be vertically delineated from the sidewalk.
  - Vertical delineation can include walls, seat walls, fences, landscape buffers, planters and/or arbors.
  - Maximum height of fences and walls: 6'.
  - Elements above 4' shall maintain a minimum 60% *visual permeability*.

- Gates shall maintain a minimum of 60% *visual permeability*.
- Chainlink and razor wire are not allowed.
- Low walls may be used as integral seating.
- Setback to Vertical Element: A 2' to 4' deep landscaped area shall be provided between the *sidewalk area* and any vertical element.
  - Landscaping shall comprise a minimum of 80% of the landscape setback not including the circulation space that directly connects the courtyard to the *sidewalk area*.

### Frontage Types

- 100% of the Courtyard Frontage shall be occupied by any combination of the frontage types allowed on the adjacent *street frontage*. See Figure 5.5.7.b.

### Notes

- Courtyard Frontage is comprised of all edges of the Courtyard except for those that are Street Frontage.
- As part of a development using courtyard frontage types, a "half" courtyard can be developed where the courtyard is fronted by a 'L' of buildings with the courtyard space having two *street frontages*.

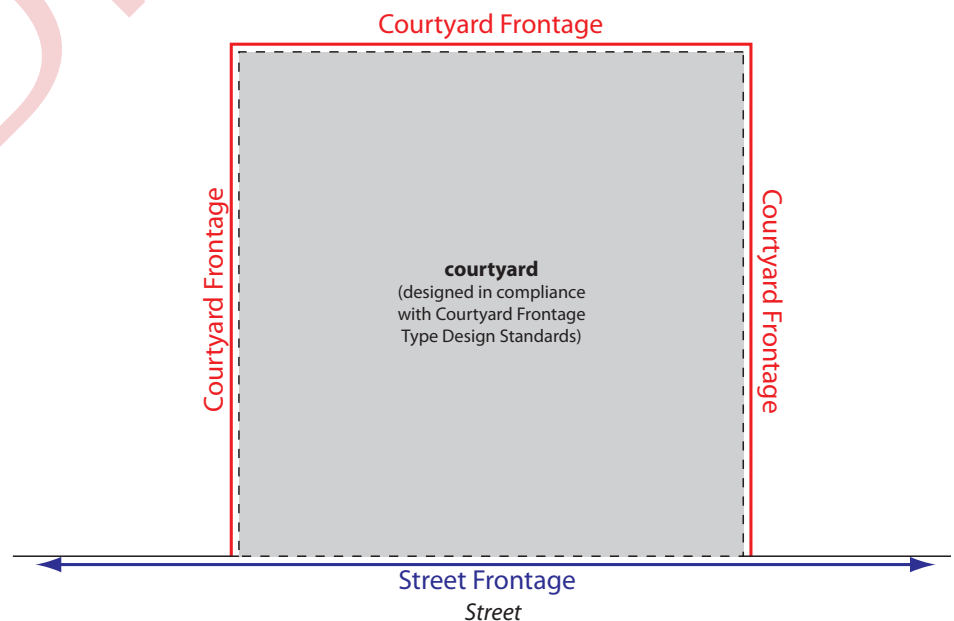


Figure 5.5.7.b: Courtyard (open area) Frontage diagram

## 5. General Zoning Standards



### Shared Motorcourt

#### Purpose

Like the Courtyard, the Shared Motorcourt is a combination of different frontages that relate to Tucson’s architectural history and respond to Tucson’s climate. This frontage type draws from the historic motorcourt motels along Oracle Road, while at the same time addressing the future of Grant Road by creating space that can be “shared” by autos, pedestrians, bicycles and the disabled while allowing for a range and mix of uses.

This frontage type also accommodates the desire for parking “in front” of buildings while maintaining a lively, walkable *street frontage*. A number of design standards and recommended design treatments ensure that the Motorcourt is different from a typical strip commercial center.

The motorcourt (open area portion of this type) may contain a combination of an open space exclusively for pedestrians, parking and drive aisles, or it may take on the character of a shared plaza space that is designed primarily as a pedestrian space, but allows auto parking and circulation of vehicles at a slow and safe speed. Spaces in the motorcourt that are restricted to pedestrians should be differentiated from auto circulation for safety in ways that create attractive pedestrian spaces, such as color and material changes. Like in a courtyard, a motorcourt must contain trees or other landscaping to provide shade.

#### Standards

##### Dimensions

- Width Parallel to the *street frontage*:
  - Minimum: 80’.
  - Maximum: 125’.
- Minimum *building facade* at Motorcourt Frontage (see Figure 5.5.7.c): 80%



## 5. General Zoning Standards

### Entrances

- The buildings surrounding the motorcourt must have primary entrances onto the motorcourt or the street.
  - Minimum motorcourt entry spacing shall comply with the associated frontage type for the buildings fronting onto the motorcourt.

### Landscape

- The motorcourt shall be open to the sky.
- A 10' wide minimum pedestrian space (not shared with vehicles) shall line building frontage onto the motorcourt. This pedestrian circulation space shall connect to the *sidewalk area*.
- The pedestrian circulation around the perimeter of the motorcourt shall connect with the sidewalk.
- A minimum 10% of the total motorcourt space, not including the perimeter pedestrian circulation space, shall be designed to be occupiable yard space where autos are prohibited.
  - Elements to delineate spaces can include changes in paving, low walls or bollards, landscaping, or changes in elevation.
- At least 50% of the Motorcourt Frontage shall be landscaped and all frontage not used for auto and pedestrian circulation shall be landscaped.
- Vertical delineation: The motorcourt shall be vertically delineated from the *sidewalk area*.
  - Vertical Delineation can include walls, seat walls, fences, landscape buffers, planters and/or arbors.
  - Maximum height of fences and walls: 8'.
  - Elements above 3' in height shall maintain a minimum 80% *visual permeability*.
  - Gates shall maintain a minimum 60% *visual permeability*.
  - Chainlink and razor wire are not allowed.
  - Low walls may be used as integral seating.
  - Setback to vertical element: A 2' to 4' deep landscaped area shall be provided between the sidewalk and any vertical element.

- Landscaping shall comprise a minimum of 80% of the landscape setback not including the circulation space that directly connects the motorcourt to the *sidewalk area*.

### Paving

- Hardscape space in the motorcourt used for vehicular circulation can be "shared" between cars, pedestrians, bicycles, and the disabled, but clearly delineated.
- The majority of motorcourt paved surfaces shall be decorative paving comprised of decorative concrete (i.e., decorative scoring patterns, and varied concrete colors and surface treatments), decorative pavers, or a combination of these to create a plaza environment. The use of permeable paving is desirable.
- Drive aisles may be paved with asphalt. The use of permeable paving is desirable.

### Frontage Types

- 100% of Motorcourt Frontage shall be occupied by any combination of the frontage types allowed on the adjacent Street Frontage. See Figure 5.5.7.c.

### Notes

- Motorcourt Frontage is comprised of all edges of the motorcourt except for those that are Street Frontage.
- Motorcourts are not allowed on corner parcels and shall be a minimum of 50 feet away from any intersection.

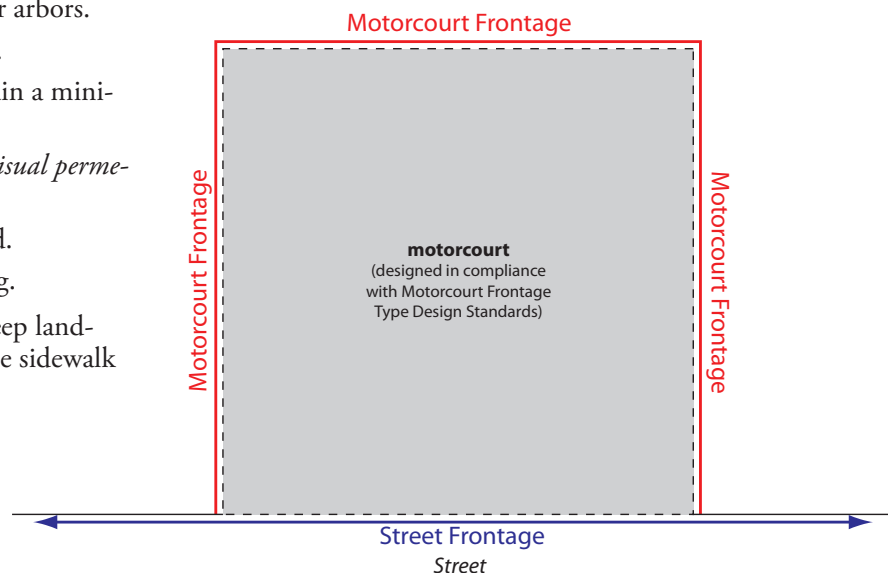


Figure 5.5.7.c: Motorcourt (open area) Frontage diagram

## 5. General Zoning Standards



### Parking Lot

#### Purpose

The Parking Lot is an important frontage type on Grant Road. At the same time, parking lots should not take away from the pedestrian supportive environment that is being created in the Grant Road District. The corridor's businesses and residences need accessible, convenient parking, and while much of the off-street surface parking needed for Grant Road is encouraged to be located at the back of lots, some parking will occur at the side of buildings. For the purposes of the frontage type, "parking lots" also include loading areas and outdoor service areas. Also, as larger shopping center sites evolve with incremental development over time, larger areas of surface parking will likely remain during these transition periods.

Auto and truck parking lots, and loading and service areas fronting onto streets and public spaces shall be effectively screened to reduce their visual presence. It is paramount that these frontages be well-designed to have a minimal detriment to the pedestrian environment of the streets in the Grant Road District. The Parking Lot frontage type must be buffered from the sidewalk with a substantial and varied landscaped area, and may include walls, fences, or trellis while allowing for adequate visibility into the lot for safety purposes. This buffer replaces the active frontage that a building can provide during the day and into the night, therefore it must strive to create a similar, high level of interest and complexity for pedestrians.

#### Standards

##### Blank Wall

- Maximum Continuous Horizontal Length of Blank Wall: 20' along streets or public spaces.
- Lengths of wall greater than 20' in length shall be modulated or provide relief through a change in vertical and/or horizontal profile (i.e. jogs in plane or silhouette), or may include an opening with at least 30% *visual permeability*.
- Portion of wall greater than 20' in length screening truck, service and storage areas shall also include trees to break up the mass.

## 5. General Zoning Standards

### Shading Elements

- Shading elements may include trees, arbors, and/or other structures, such as tensile shade structures.

### Landscape

- A horizontal buffer and vertical screening shall be used to create separation, provide interest along the street, and buffer streets and public spaces from vehicle headlights.
- Minimum Buffer width: A 6' minimum buffer width shall be maintained to separate the parking lot from the *sidewalk area*.
- The buffer shall include a combination of shrubs and groundcovers with walls and/or fences. Trees may be included to provide added shade along the sidewalk and parked cars.
- Vertical Delineation: The parking lot shall be vertically delineated from the *sidewalk area*.
  - Trees shall be planted in a row with spacing such that their canopies touch when the trees are at 8-years maturity.
  - Understory landscaping shall be 4' minimum height.
  - Fences and walls shall be 4' min. and 8' max. height above parking lot.

- Elements above 4' shall maintain a minimum of 30% *visual permeability*.
- Setback to Vertical Element: A 2' to 4' deep landscaped area shall be provided between the *sidewalk area* and any vertical element.
  - Landscaping shall comprise a minimum of 80% of the landscape setback not including the circulation space that directly connects the parking lot to the *sidewalk area* and driveways.

### Notes

- Standards are applicable to all types of Parking Lots.
- A portion of the landscape setback can be hardscaped for pedestrians to access a food cart or similar use within the parking lot adjacent to the buffer.
  - Hardscaped area shall not exceed the length of a parking stall.
- Primary use by semi-trucks is a special condition only allowed in the Oracle Center and the Segment West zoning category).

## 5. General Zoning Standards



### Park or Plaza

#### Purpose

The community has expressed a strong desire for additional community gathering places along Grant Road. The Park and Plaza frontage type can satisfy this desire while activating the street and improving the pedestrian environment. A park or plaza is an open space area actively used by the public for recreation, gathering, or relaxation. Parks and plazas can contain hardscape and landscape, but need to address water harvesting and stormwater management in a creative way that complements the urban landscape. Spaces should provide a balance of shaded and sunny areas, as well as protection from wind and rain, depending upon the orientation of the space, its use, and by season. It must be delineated from the sidewalk but easily visible, inviting, and accessible. Amenities should accommodate users of all ages as appropriate to surrounding uses.

#### Standards

##### Dimensions

- Minimum area:
  - Plazas: 500 s.f.
  - Parks: 1000 s.f.
- Minimum dimension along *street frontage*:
  - Plazas: 15 feet.
  - Parks: 20 feet.

##### Encroachments

- Allowed *encroachments* include: dining facilities, seating, awnings, arcades, and signage.
- A minimum 8' clear space shall be maintained for all overhead structures.
- A minimum ADA path of travel shall be maintained as required for access.

## 5. General Zoning Standards

### Landscape

- Parks and plazas shall include a combination of landscaping, seating, lighting, water features, trash receptacles, decorative paving, low walls, lighting, public art, shaded areas (by means of landscape structures, trees or other methods) and visibly active spaces to provide visual interest to adjacent streets and activity that is visible from the street.
- The edges of Park or Plaza frontages shall be clearly delineated from the *sidewalk area* and shall include elements (e.g., landscaping, seating, decorative paving, gateways) to activate the street.
  - Park or Plaza frontages greater than 25 feet long shall have trees within 10 feet from the edge of the park or plaza and shall maintain one tree for every 25 linear feet of frontage.
  - Park or Plaza frontages shall include a decorative hardscape surface within 10 feet of the park or plaza edge for a 5' minimum width. Examples include decorative concrete, paver blocks, and crushed rock. Asphalt and non-decorative concrete do not count toward this requirement.
  - Park or Plaza frontages shall include seating, such as benches or seat walls, within 10 feet of the edge of the park or plaza.
- Vertical Delineation: A vertical element may be used to delineate the park or plaza from the *sidewalk area* and must meet the following requirements:
  - Vertical elements can include walls, seat walls, fences, landscape buffers, planters and/or arbors.
  - Walls and fences adjacent to the sidewalk shall be 6' max. height.
  - Elements above 3' shall maintain a minimum 80% visual permeability in order to maintain a visually open frontage and a strong relationship to the street.
  - In no case shall a park's or plaza's perimeter be bermed other than as infrequent accents. Berms shall not exceed 18 inches in height at top of slope.
  - A 2' to 4' deep landscaped setback shall be provided between the *sidewalk area* and any vertical element.
    - Landscaping shall comprise a minimum of 80% of the landscape setback not including the circulation space that directly connects the park or plaza to the *sidewalk area* and seatwalls meant to face the *sidewalk area*.

- Utilities, cabinets, meters, and other similar elements shall be accommodated away from sidewalks and the frontages of the buildings adjacent to the park or plaza. These elements shall be designed integrally with the open space, not as an afterthought.
  - Screening of these elements shall follow the screening requirements in the GRD's General Standards.

### Lighting

- Lighting standards shall place luminaires at a max. height of 14' to maintain a *human-scale* environment.

### Environmental Resources

- Water harvesting and stormwater management facilities shall be provided within parks and plazas; they should complement the scale and urban character of parks and plazas, and be designed as integral and decorative features to the spaces.
- Water harvesting and stormwater facilities should have a dual role of managing stormwater, creating interest and providing amenities for users such as water features and sitting areas.

### Frontage Types

- Where a park or plaza perimeter does not abut a street, 100% of the perimeter of a park or plaza shall be lined with a Frontage Type that is allowed on the adjacent Street Frontage with the exception of *pedestrian pass-throughs*.

### Notes

- Minimum functional open space:
  - Plaza: 75%.
  - Park: 50%.
- A park or a plaza shall be open and accessible to the public from at least 6 a.m. to 10 p.m., whether it is publicly or privately owned.
- Parks and plazas shall be designed to accommodate a variety of scheduled events and programmed activities, for a wide range of users and ages.
  - Scheduled events could include small-scale musical and art performances, farmers' markets, artisan festivals and similar attractions that can draw the public into the space.
  - Programmed activities could include a tot-lot, seating around a table (either fixed or movable), and similar elements that support informal activity and interactions between users of the open space.

## 5. General Zoning Standards

### 5.6 Building Height, Massing, and Articulation Standards

#### 5.6.1 Height

##### Measurement

Structure Height Measurement: Per LUC Section 3.2.7.

##### Standards

This section provides general building height standards for the GRD. Additional standards for building heights are provided in the dimensional standards for each zoning category in Section 6 Grant Road District Categories.

##### Maximum Building Heights

Maximum building height limits are set in Section 6 Grant Road District Categories. Each category has a Site Maximum that is the maximum height allowed for lots with that category. Specific maximum heights are defined for frontages along Major Streets, non-Major Streets, property boundaries with non-Residential zones and property boundaries with Residential zones.

##### Height Transitions within the GRD

Where a GRD Category abuts another GRD Category with a lower maximum height limit, the following height transition requirement applies: Within 20 feet of the GRD category with the lower height limit, the height limits of adjacent GRD Categories are the lesser of 11 feet higher than that of the GRD Category with the lower height limit or the GRD height limit for the Category.

##### Minimum Upper Floor Stepbacks

Each GRD Category contains a set of minimum upper floor stepbacks, which dictate the way each maximum height transitions from a lower height maximum at the edge of the buildable area to the Site Maximum Building Height. See Maximum Building Heights table in Section 6 Grant Road District Categories.

##### Ground Floor Height

Each GRD Category contains a set of minimum clear ground floor ceiling heights for non-Residential uses fronting onto streets or open spaces.

#### 5.6.2 Massing and Articulation Standards

Additional *massing* and *articulation* standards can be found in Section 5.5.7 Frontage Types for each of the defined frontage types including standards for blank walls, entry distances, and glazing.

##### Massing

- *Building massing* shall be scaled to the context when there is an established character, see Figure 5.6.2.a.
- *Massing* shall follow a logical rhythm and order, and reflect the interior spaces of buildings through the use of such elements as bays, recesses, stepbacks, tower elements, loggias, roof composition, and overhangs, see Figure 5.6.2.b through 5.6.2.d.
- *Massing* elements shall provide vertical *articulation* at a ratio of 1 in width to 1.5 in height to avoid an overly horizontal building form, see Figures 5.6.2.e and 5.6.2.f.



Figure 5.6.2.a: Photos of example buildings with massing that is scaled to context. The first photo shows building massing appropriate to the intersection of two major mixed use commercial streets, while the second photo shows a building with varied scale and articulation of massing transitioning from a busy commercial street to the existing single-family home on the right.

## 5. General Zoning Standards



Figure 5.6.2.b: Photo of example building that meets the standard for massing with a logical rhythm and order, where the massing articulation relates to the rooms within the building, and frames both ends of the building.

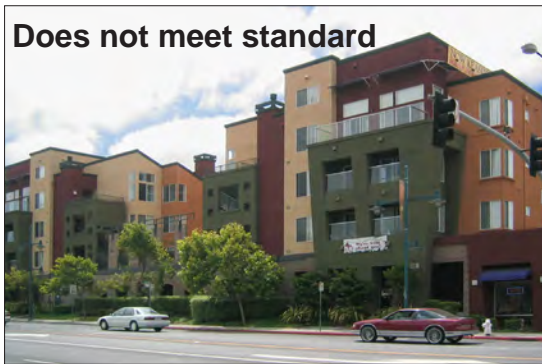


Figure 5.6.2.c: Photo of example building that does not meet the standards for massing with a logical rhythm and order, where the building massing is arbitrary and chaotic.



5.6.2.d: Photo of example buildings that meet the standard for massing with a logical rhythm and order (also see Figure 5.6.2.i for an example of an undesirable facade).



Figure 5.6.2.e and 5.6.2.f: The building on the left satisfies the GRD standard of 1:1.5 horizontal to vertical building massing ratio while the building on the right displays a horizontal massing that does not meet the standard.

## 5. General Zoning Standards

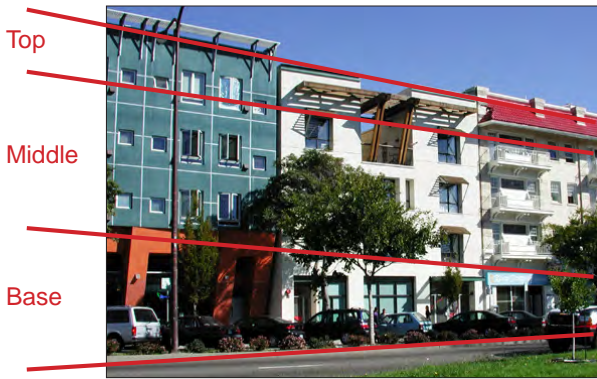


Figure 5.6.2.g: Photo example of buildings that satisfy the massing and articulation standard for a base and top that are human-scaled.

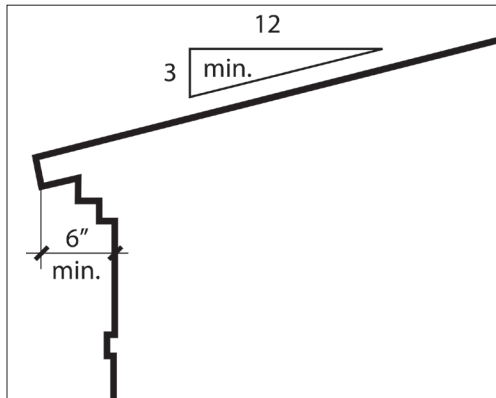


Figure 5.6.2.h: Diagram of minimum roof pitch and articulated overhang dimensions.

- Ground floor building recesses greater than 5 feet in depth shall be reserved for active uses such as dining.
- Blank wall standards: See individual frontage types in the Section 5.5.7 Frontage Types.
- Buildings shall be defined by a base and a top that are *human-scaled* in form, and particularly in height and *articulation*, see further discussion under the Articulation subheading of this section, see Figure 5.6.2.g.

### Roofs

- Sloped roofs shall be composed of a 3:12 pitch or higher with a well-articulated overhanging eave with a minimum depth of 6 inches, see Figure 5.6.2.h.
- Roof forms shall create simple profiles with no unnecessary changes in plane. Roof *articulation* shall reflect a building's floor plan and avoid being overly articulated forms, see Figures 5.6.2.i and 5.6.2.j.

### Articulation

- *Building articulation* shall follow a logical rhythm and order and reflect interior spaces. Use fenestration, material and color changes, expression lines, awnings, arbors, balconies, rooflines and window and door recesses to create shadowlines on *building facades*.
- A well-defined base may be composed of thicker walls, richly textured materials (including, but not limited to masonry or tile), special materials (including, but not

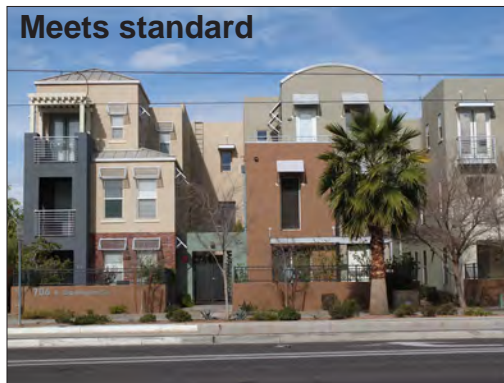


Figure 5.6.2.i and 5.6.2.j: Roofs should be simple in form, the building on the left does not meet this standard as the roof massing is overly complex while the building on the right has a more ordered variety in roof form.

## 5. General Zoning Standards



Figure 5.6.2.k through 5.6.2.m: Photo examples of building articulation. Figure 5.6.2.k above does not meet the articulation standards because it relies on color changes without changes in mass or materials while the building in Figure 5.6.2.l does not have enough articulation of the upper facade. Figure 5.6.2.m is an example of a building that satisfies the articulation standards with a combination of massing, materials, and color.

limited to ceramic tile, granite, marble, and/or darker colored materials and/or panels) and other elements that serve to “ground” the building.

- A recognizable top may utilize cornice treatments, roof overhangs, eaves and brackets, stepped parapets, richly textured materials (including, but not limited to tile or masonry treatments), a shading element, and/or differently colored materials or other method of visually distinguishing the top from the base and body of the building.
- Color change as a sole means of *articulation*, without a change in material or building plane, is prohibited. See Figures 5.6.2.k through 5.6.2.m.
- Side facades that are visible from the *public realm* shall be articulated in a similar manner as the main façade to avoid false fronts. See Figure 5.6.2.n and 5.6.2.o.
- Building projections such as arbors, overhangs, awnings and canopies are encouraged along facades at the ground floor to provide shade, *human-scale*, and help to define the building’s “base”.
- Awnings and canopies shall be proportional to the façade on which they are placed and not obscure architectural elements and details.
- Awnings shall be no wider than a single storefront, architectural bay or window grouping.

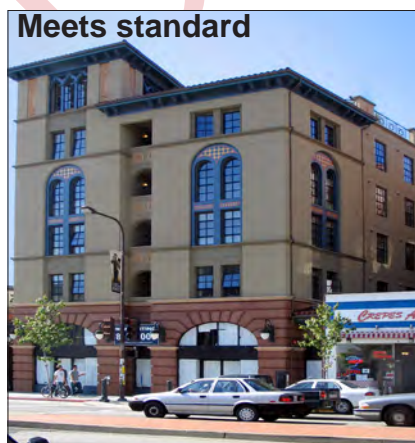


Figure 5.6.2.n and 5.6.2.o: Photo examples of building facades that are visible from the public realm, but that do not front onto a street. The building on the left provides a similar level of articulation to the street fronting facade while the building on the right does not satisfy this standard.

## 5. General Zoning Standards



Figure 5.6.2.p: Example of a building design with human-scaled, complex and tactile building materials.

- Awning materials shall be consistent with the architectural style of the building. Use of glass, metal, wood, or canvas materials is encouraged. Vinyl, plastic and internally illuminated awnings and *awning signs* are prohibited.

### Materials

- Buildings shall incorporate *human-scaled* materials that are visually complex and tactile, see Figure 5.6.2.p.
- Changes in materials shall not occur at external corners, but at interior corners or at a change in horizontal plane, see Figure 5.6.2.q.
- Materials, material combinations, and their composition shall reflect the regional and nearby contextual architectural character of a building.
- Materials such as scored plywood (i.e., T-111) siding, vinyl siding, think brick paneling and ‘Dryvit’ type systems are prohibited.

### Entrances

- Main entrances shall be *human-scaled* in composition and *articulation*, see Figure 5.6.2.r.
- Buildings shall have a clear and distinct main entrance that is hierarchically defined through scale, greater *transparency* and/or a higher level of *articulation* or similar architectural treatment to distinguish main entrances from subordinate entrances, see Figure 6.5.2.s.
- Porches and stoops shall be designed as an integral architectural feature of the main structure, see also the requirements for the Porch frontage type.

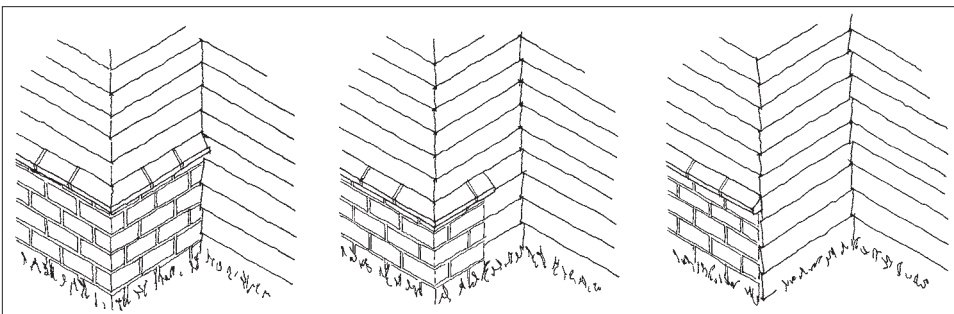


Figure 5.6.2.q: Diagram of material changes in relation to an external corners. The illustration on the left meets this standard, because the material change occurs at an internal corner. The other two conditions do not satisfy the standard. The center illustration, has the material change where there is not change in horizontal plane and the illustration on the right has the material change at an external corner.

## 5. General Zoning Standards

- Garage doors shall be recessed a minimum of 18 inches, with the exception of service garage doors, which shall follow the standard defined by the Service Garage frontage type in Section 5.5.7 Frontage Types.
- Building *setback* and *build-to line* requirements exclude recessed entries.

### Windows

- Window designs shall maximize interior daylighting while reducing glare. Mirrored or smoked glass shall be avoided and their use limited to building accents. Use passive shading devices, special low E glass technologies, deep overhangs or external sun shading devices and landscaping to maintain visibility between the exterior and interior of the building.
- *Clerestory windows* as the sole fenestration along the main façade shall be limited to the blank wall lengths as defined for each frontage type in Section 5.5.7 Frontage Types for the purposes of calculating *articulation* and transparency.
- *Transom windows* are allowed on any frontage and should not be confused with *clerestory windows*.
- The combined area of temporary and permanent window signs shall not obscure window area by more than 25%.
- The obscuring of window area by interior shelving and display not meant for outdoor interest is prohibited.
- Shades, curtains, blinds, and other permanent or non-permanent light control elements shall not reduce the amount of transparency beyond the blank wall requirements.



Figure 5.6.2.r: Photo example of a main entrances that has composition and articulation that make it human-scaled.



Figure 5.6.2.s: Photo example of a clearly defined building entrance. This lobby entry is distinguished from the individual unit entry to the left by its large-scale awning and the entry plaza.



## 5. General Zoning Standards

### Development Transition

- *Building massing* transitions in relation to existing adjacent residential zones, including those across an alley, shall follow standards as defined within each of the Grant Road District Categories.
- Windows at or above the second story of a structure shall be located or treated (e.g., shading devices) to reduce views into adjacent residential property’s buildings and yard areas.
- Balconies, roof gardens and patios shall be oriented away from affected residential property or use a screening device to reduce views onto the rear or side yards of affected residential property.
- Buffers and/or screening consistent with the purpose of this section shall be provided between a developing site and affected residential properties. See LUC Section 3.7.2.4.B Table 3.7.2-I for requirements between uses, with the following exceptions and clarifications:
- Screening requirements of Table 3.7.2-I between development and streets do not apply in the GRD, see requirements in Section 5.7.7 Screening.
- LUC Section 3.7.2.4.B.2 do not apply within the GRD.
- Screens shall take on the character of the residential use where new development abuts historic designated buildings or neighborhoods.

- Ensure sufficient off-street motor vehicle and bicycle parking facilities by establishing minimum parking requirements for land uses;
- Reduce excessive off-street parking by providing parking maximums, encouraging the shared use of *vehicular use areas* and the use of public transit;
- Promote pedestrian safety, comfort and convenience by providing pedestrian networks within parking areas, and to establish a network that could become local streets as revitalization continues to occur over time;
- encourage safe, convenient, and efficient design of motor vehicle and bicycle parking spaces, circulation, and access areas;
- provide shade to increase comfort and reduce urban heat island effect;
- contribute to the aesthetic improvement of the Grant Road planning area;
- improve the watershed by managing rainwater runoff; and,
- improve air quality by requiring paving of *vehicular use areas*.

**Surface Parking Lots** in the Grant Road District will accommodate the need for motor vehicle and bicycle parking for nearby uses while also maintaining attractive *street frontages* that are safe and comfortable for pedestrians. Parking lots will also provide a safe, comfortable, and convenient circulation network for pedestrians and bicyclists, and landscape that provides shade and counterbalances the negative watershed and climate impacts of large impermeable surfaces.

**Parking Structures** in the Grant Road District need to be designed to have the visual appearance similar to the commercial and residential buildings that they serve, rather than disrupting the character of the built environment as parking structures often do.

### General Provisions

- Bicycle Parking requirement calculations: Per LUC Sections 3.3.3.6 and 3.3.8.2B.
- Parking for Physically Disabled: Per adopted Building Code of the City of Tucson, see LUC Section 3.3.3.2.

## 5.7 Site Design Standards

### 5.7.1 Parking

#### Purpose

This section establishes minimum and maximum requirements for motor vehicle and bicycle parking to ensure that such facilities are consistent with the objectives of the General Plan, and the Area and Neighborhood Plans that include the Grant Road District, and with the Vision for Grant Road Centers and Segments. These regulations are intended to promote public safety and environmental quality. Specifically, these regulations are intended to:

## 5. General Zoning Standards

- Location requirements: Per LUC Section 3.3.6.2 except amend distance from use being parked (in 3.3.6.2.A.1) to 1/4 mile.
- Fractional Amounts: Per LUC Section 3.3.3.7.
- Areas that may not be used for Required Parking, Per LUC Section 3.3.6.3.
- Use changes and expansions resulting in changes in parking requirements: Property owners and developers should consider the range of land uses that will use the space over the life of the development and the ability to share parking among uses on the site and with other nearby properties, and then document and provide the needed parking capacity and flexibility for the likely future uses of the site.

### Required Number of Motor Vehicle Parking Spaces

#### Minimum number of spaces required

- Required minimum number of motor vehicle parking spaces: Per LUC Section 3.3.4.
- Applicants may use shared parking calculations and *District Parking* Programs to reduce and manage minimum parking requirements, see Shared Parking and *District Parking* below.

#### Maximum amount of parking allowed

Uses may not exceed the minimum number of parking spaces required by LUC Section 3.3.4 by more than the following multipliers:

- Grocery Stores: 1.50
- Other retail above 30,000 square feet leasable area: 1.40
- Other retail and restaurants: 1.35
- Multifamily residential: 1.35
- Single-family residential: 1.50
- Office: 1.25
- Industrial: 1.25

### Standards

#### General Standards

- Parking space dimensions: Per LUC Section 3.3.6.4, including Figure 3.3.6.4.A-I and Table 3.3.6.4.A-II.
- Compact Spaces: Up to 10 percent of the total number of parking spaces for a given site may have decreased dimensions as described in LUC Section 3.3.10.4, "Parking Design Modification Request." These decreased parking spaces must be marked as "compact" and must not be less than 8 feet in width.
- Lighting deflection from residential areas, Per Section 3.3.6.10 of LUC.
- Use of alleys and street for maneuvering in and out of parking spaces is allowed.
- Tandem Parking: Allowed for Residential Care Services with four (4) or fewer spaces provided, single-family residential development, individual multifamily units, mobile home dwellings, duplexes on individual lots, or attendant parking in commercial parking lots.



## 5. General Zoning Standards

### Surface Parking Lot Design Standards

Surfacing requirements: Per LUC Section 3.3.6.9, with the addition of paver blocks to list of allowed materials. Paver blocks are pre-cast pieces of concrete or brick that interlock to create hardscape surfaces. Pavers can create a more inviting surface than asphalt or concrete. See Figure 5.7.1.a for illustrative examples of meeting surface Parking Lot Design Standards.

### Landscape<sup>1</sup>

These standards supersede City of Tucson Development Standard 2-06.3.3.

- A canopy tree shall be provided for every 3 spaces:
  - Each tree must be planted in a planting area with a minimum horizontal dimension of 4’ in all directions. An exception to this is where parking is designed for angled spaces and triangular areas are left at the ends of parking spaces, as long as the average width of the triangle is at least 4’.
  - Trees in the parking lot buffer along the sidewalk mandated by the Parking Lot Frontage Type standards or other landscaped area can count toward this requirement but the tree must be within 5’ of the parking lot.
  - When planted within the *vehicular use area*, trees should be located at the edge of and between vehicle spaces, such as the common corner of four perpendicular spaces that face each other.
  - Trees should be planted “orchard style,” meaning as evenly spaced as possible within the parking lot design to create shade throughout the parking lot.
- An alternative to fulfilling the requirement of 1 canopy tree for every 3 spaces is the provision of trees and/or shade structures that shade at least 50% of the *vehicular use area* in a dispersed pattern to create shade throughout, for the portion of the parking lot where shade structures are used. The amount of shade available on June 21 is calculated between the hours of 9:20 a.m. and 3:20 p.m., Mountain Standard Time. This alternative does not supersede the requirements mandated by the Parking Lot *Street Frontage* Type, screening requirements for site perimeters, or requirements for minimum percentage of the *vehicular use area* to be landscape.
- Landscaped areas at least 5’ wide and with one canopy tree for every space length are required adjacent to pedestrian walks that are perpendicular to parking bays (parallel to parked cars) and parking spaces, and any pedestrian walk along a parking area access lane (PAAL). If the pedestrian walk runs along a PAAL, the landscaped area must be between the walk and the PAAL. See the Pedestrian, Bicycle, and Vehicle Circulation subheading of this section (for requirements for pedestrian walks.
- Where parking is designed for angled spaces and triangular areas are left at the end of parking rows, these spaces may count toward the above landscaped area requirement and the average width of the triangle must be at least 5’.
- Landscaping within the interior of parking lots should comprise a minimum of 10% of the total net parking area, exclusive of *street frontage* and interior property boundary landscape borders.
- Landscaped areas should be protected from cars with a raised curb six (6) inches high to prohibit the tires of the vehicle from encroaching onto the planter. Standard wheel barriers are acceptable but not encouraged, as they can be easily moved and could allow damage to trees or other landscaping. If a curb is used, low groundcovers, crushed rock or permeable pavers should be located within the area 18 inches from the face of curb.
- Parking spaces may be designed so that the front of a vehicle overhangs into planter areas that are within a *vehicular use area* but cannot overhang into the landscaped area between the *vehicular use area* and the sidewalk. The maximum amount of overhang is the same measurement as the parking space wheel stop location, as permitted in Development Standard 3-05.0.2.
- See Section 5.7.7 Screening for required width of interior landscape borders and screening requirements.
- See Section 5.5.7 Frontage Types for required landscape buffer between the sidewalk and the parking lot.

<sup>1</sup> This section incorporates standards from the Land Use Code and Development Standards as well as new standards specifically for the GRD.

## 5. General Zoning Standards

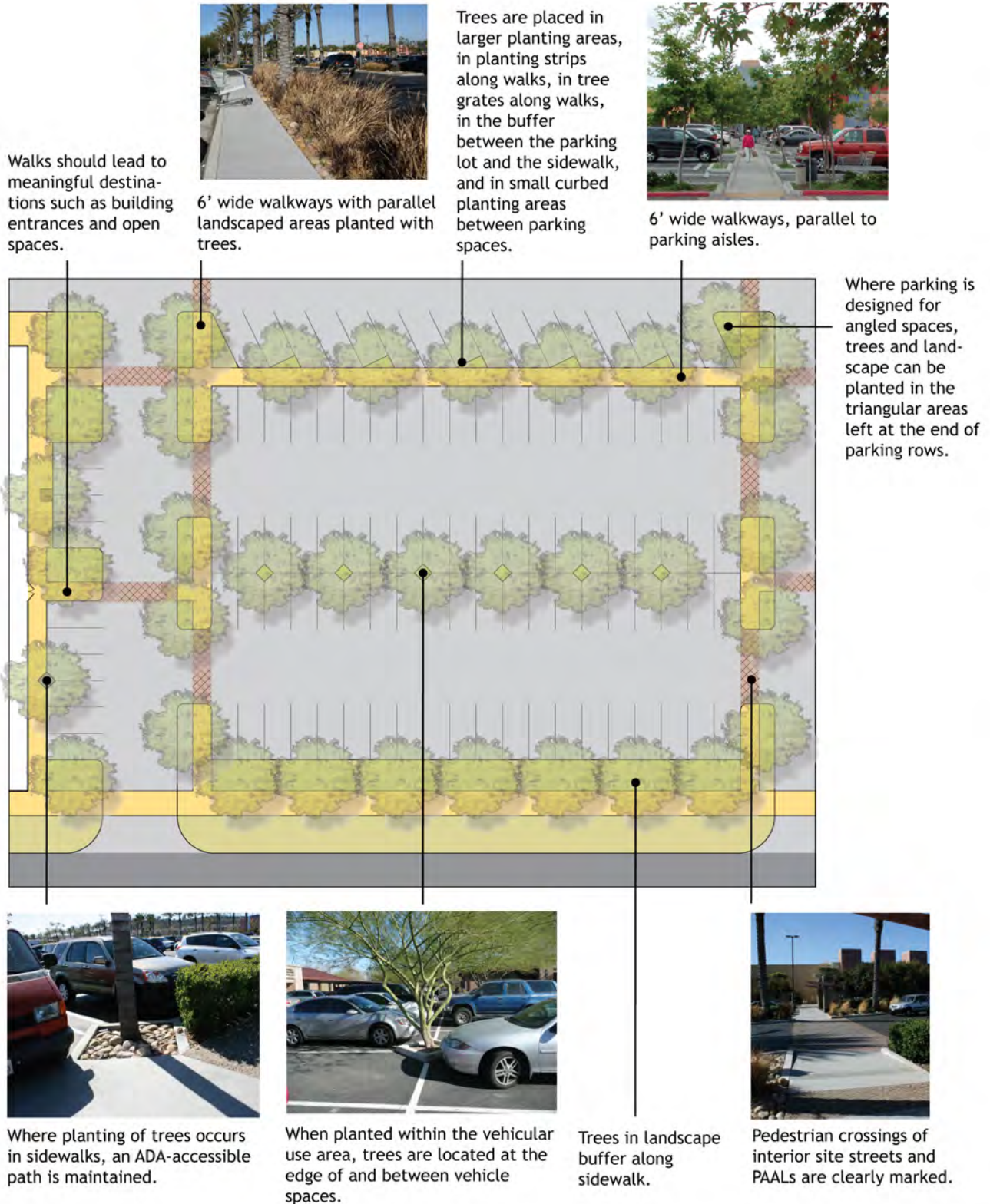


Figure 5.7.1.a: Illustrative examples of surface Parking Lot Design Standards.

## 5. General Zoning Standards

### Rainwater Runoff Management/Harvesting

- Water harvesting techniques shall be incorporated as part of the landscape design based on the Water Harvesting Guidance Manual prepared for the City of Tucson Transportation Department Stormwater Section and Section 5.10 Environmental Resources.

### Screening

- See Section 5.7.7 Screening of these General Standards.

### Pedestrian, Bicycle, and Vehicle Access and Circulation

- Pedestrian circulation in and around surface parking lots should be considered as a network that is safe and comfortable to walk between building entrances, parking spaces, and the sidewalks on surrounding streets. Walks should lead to meaningful destinations such as building entrances and open spaces. Larger parking lots should be designed such that drive lanes, pedestrian circulation, landscape, and underground utilities are configured to become future streets and blocks. See Figure 5.7.1.b.
- 6' wide minimum walkways are required perpendicular to parking bays (parallel to parked cars) no further than 20 spaces apart. These walkways are required to have parallel landscaped areas planted with trees (see Landscape subheading of this section, above).

- 6' wide minimum walkways are required at the end of every row, along drive aisles.
- 6' wide minimum walkways, clear of vehicle overhangs, parallel to parking aisles (perpendicular to parked cars) are required at a minimum spacing of every four rows. Planting of trees to fulfill the one tree-per-3-spaces requirement may occur in this area, but an ADA-accessible path must be maintained.
- Pedestrian crossings of interior site streets and PAALs must be clearly marked.
- Where a parking lot abuts a building there must be a 6' wide minimum pedestrian walkway clear of vehicle overhangs. Planting of trees to fulfill the one tree-per-3-spaces requirement may occur in this area, but an ADA-accessible path must be maintained.
- Walkways required above perpendicular to parking bays and parallel to parking bays should create a pedestrian circulation network, aligning with each other as much as possible and be connected with marked crosswalks.
- The number of driveways into surface parking lots should be minimized. Driveway widths should not exceed 24 feet and should be designed to minimize interference with pedestrian traffic flows.



Figure 5.7.1.b.: Illustration showing the conversion of a main parking aisles and walkway connections into new streets within a shopping center redevelopment.

## 5. General Zoning Standards



Figure 5.7.1.c: Photo examples of ground floor commercial with parking above, note that the parking garage in the example on the right does not meet the design standard for architectural expression that is similar to surrounding buildings, because of the large horizontal openings into the garage.

### Lighting

- See Section 5.8 Lighting for lighting requirements of parking lots.

### Frontage Types

- Where a surface parking lot abuts a public street, the design standards of that frontage are governed by the Parking Lot frontage type. See Parking Lot frontage type in Section 5.5.7 Frontage Types.

### Parking Structures and Underground Parking Design Standards

#### Frontage

In general, parking structures should not front directly onto streets in the GRD, especially at the ground level. When parking structures must front directly onto the street the preference is that they have some active use at the ground level along the street, such as a commercial or office use, see Figure 5.7.1.c. If this is not feasible, they should be screened from the sidewalk by landscaping, public art, or other elements creating an interesting and attractive frontage. Parking structures near *street frontages* should be “lined” with retail or other commercial spaces, residential units, or other occupied building spaces. Where parking structures do abut the street, they must be designed to comply with an allowed Frontage Type – see Section 5.5.7 Frontage Types and Section 6 Grant Road District Categories.

In instances when parking structures front onto the street at the ground level:

- Screening by landscape or other element is required, see Figure 5.7.1.d.
- Portions of parking structures that are visible from public streets and open spaces as well as from adjacent residential zones must be designed with an architectural expression similar to the building(s) that the parking structure services with minimized visibility of the parking structure ramps and the vehicles within the parking structure.



Figure 5.7.1.d: Photo example of screened parking structure with landscape screen.

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Figure 5.7.1.e. Photo example of a parking structure design that fits in with surrounding buildings.



Figure 5.7.1.f: Photo example of a driveway entry that accommodates pedestrians with a walkway.

- Design of parking structures shall be compatible with the design of surrounding buildings, see Figure 5.7.1.e.

### Pedestrian, Bicycle, and Vehicle Access and Circulation

- Number of driveways into structured and underground parking should be minimized.
- Driveway widths should not exceed 24 feet.
- Width of entry openings into structured and underground parking should not exceed 30 feet (24-foot maximum driveway width plus a 6-foot wide pedestrian walkway). See Figure 5.7.1.f. Entries should be incorporated into the building façade design by setting them back within and integrating them with the *articulation* of the façade.
- Parking structures and underground parking must have direct access to a public street or public open space, even if there is an additional connection(s) to buildings or the internal site.
- At the locations of pedestrian access to public streets or open spaces (in addition to any walkway adjacent to driveway access) the façade of the parking structure must be designed as a Public or Private Storefront. See Section 5.5.7. Frontage Types.

## 5.7.2 Shared Parking

### Purpose

Shared parking agreements may reduce parking minimum requirements for uses with different times of peak parking demand. Shared parking provides for more efficient use of parking which provides economic and environmental benefits.

A shared parking agreement must be prepared in a manner acceptable to the Director per LUC Section 3.3.5.1.D.10.

### Shared Parking Provision

The number of parking spaces required for two more contiguous uses may be reduced based on an analysis of peak-hour parking demand established by means of the Urban Land In-

## 5. General Zoning Standards

stitutes shared parking methodology as described in the latest edition of the Urban Land Institute’s (ULI’s): “Shared Parking” manual<sup>2</sup> and provided the following standards are met.

### Standards

- Individual Parking Plan (IPP): Per LUC Section 3.3.5.1 with the following amendments, additions, and exceptions.
  - 3.3.5.1.B Applicability – additional allowance for application of an IPP to more than one development through an agreement between parties.
  - Allowance for reduction in parking for multiple uses with differing peak-hour usage as determined based on the ULI shared parking methodology.
  - 3.3.5.1.E.2 – amended to require that all parking is provided on-site or at an off-site location per the requirements of the GRD.
  - 3.3.5.1.E.8 – amended so that outdoor lighting shall comply with the requirements of the GRD.
- Shared parking may be used to manage parking within a single property or a grouping of properties.
- If the properties sharing a single shared parking facility are separated by a major street, or if the number of properties sharing the parking is four or more, the parking facility must be managed as *district parking* and meet the standards of the GRD’s *District Parking* zoning requirements.

### 5.7.3 District Parking

#### Purpose

*District parking* facilities are shared parking areas that serve multiple purposes in Centers and Segments along Grant Road:

- They help accommodate the need for motor vehicle parking along Grant Road by supplementing or supplanting parking lots for individual developments and uses with shared parking spaces.

<sup>2</sup> The current edition of this reference document is—*Shared Parking, Second Edition*; the Urban Land Institute (ULI) and the International Council of Shopping Centers (ICSC), published by the Urban Land Institute, 2005.

- They increase efficiency of parking by allowing a variety of uses with different peak parking periods share parking.
- They orient patrons of businesses to the Center or Segment they are in.
- They reduce vehicle trips by allowing people to park once for multiple destinations within the Center or Segment.
- They provide flexible public space that can easily be converted into space for events or gatherings such as markets or festivals.
- They provide a sense of identity for Grant Road and its Centers and Segments.
- They can make use of remnant parcels acquired for the Grant Road Improvement Project that would otherwise be difficult to develop.
- They can provide a model for rainwater runoff management and harvesting surface parking standards and for the design standards for structure parking buildings.

#### Applicability

These standards are applicable only to parking lots designated as *District Parking Areas* in the Grant Road District.

#### District Parking Policies

- Remnants of parcels acquired for right-of-way for the Grant Road Improvement Project may be used to build *district parking* facilities.
- A property owner or a business group must reach an agreement with the city for construction, maintenance, and management of the parking facility.
- Proximity to a *district parking* facility can reduce the amount of parking required for a given applicant. As part of a shared parking plan to be approved by the Director.

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### District Parking Design Standards

#### District Parking Lots

Standards for Surface Parking Lots apply to *District Parking* Lots, with the following added requirements and allowances. See Figure 5.7.3.a.

- Orientation: Lots must include a small area at the entry to the parking area adjacent to and directly accessible from a public sidewalk that serves as a place to orient users to surrounding businesses and other uses. This area must be shaded, must have a directory sign listing nearby businesses that are participating in the *district parking* program, must have an iconic sign at the entry visible from the roadway branding the parking facility, and should have seating as appropriate for the parking area to also function as a public gathering space.
- Design must take into consideration the possibility of conversion from free to paid parking.
- Lots must be surfaced using permeable materials, such as paver blocks and permeable concrete.

- Pedestrian areas should exist at the same grade as PAALs and parking spaces and should be delineated by bollards or similar barriers and changes in paving texture, rather than curbs. This contributes to the *district parking* lot character as a shared space between people and cars, and allows for use of the space for purposes other than parking, such as farmers markets.
- If site constraints prevent the provision of all pedestrian walks required in the Surface Parking Lot some routes may be waived at the discretion of the TDOT Director.

#### District Parking Structures and Underground Parking

Parking Structure and Underground Parking Design Standards apply to *District Parking* Structures, with the following added requirements and allowances:

- Orientation: Structures must include a small area at the entry to the parking structure adjacent to and directly accessible from a public sidewalk that serves as a place to orient people using the parking structure to its location and people emerging from the parking structure to near-

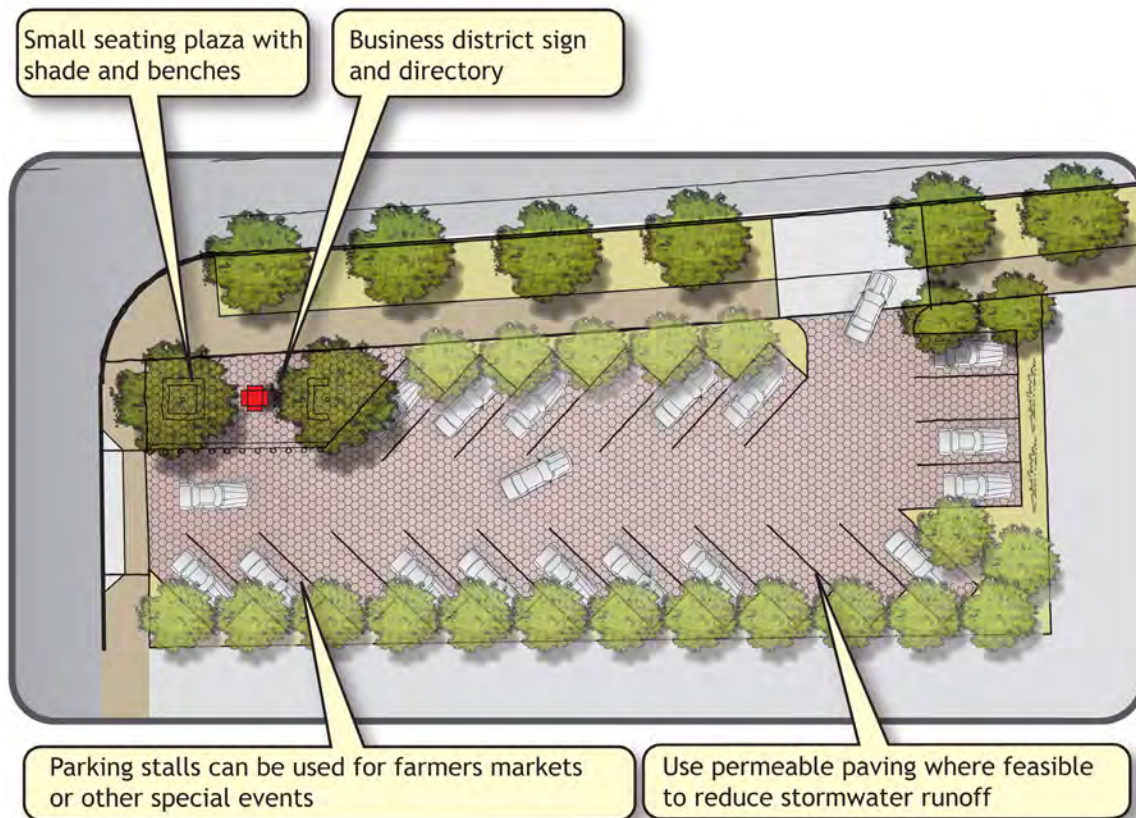


Illustration 5.7.3.a: Illustrative plan drawing of a District Parking lot.

## 5. General Zoning Standards

by businesses and other amenities. This area must have a directory sign listing nearby businesses that are participating in the *district parking* program, an iconic sign at the entry visible from the roadway branding the parking facility, and could include a small outdoor shaded plaza with seating.

- Design must take into consideration the possibility of conversion from free to paid parking.
- If a *District Parking* Structure fronts onto a street or open space, that frontage must contain occupiable space at the ground level, such as the main parking entry/lobby or space designed to meet the requirements of the Public Storefront and Private Storefront frontage types.

### 5.7.4 Bicycle Parking

#### Standards

Per LUC Sections 3.3.8 with the following exceptions and additions:

- The use of permeable paving for the bicycle parking area is desirable.
- Bicycle lockers are not allowed as a way to meet long-term bicycle parking requirements.
- The security requirement for long-term bicycle parking (LUC Section 3.3.9.4.B) is waived for non-residential uses when the number of long-term bicycle parking spaces is less than 10 and the long-term parking spaces and at least 25% of the short-term parking spaces are provided with weather protection per LUC Section 3.3.9.4.C.
- When structured parking is provided on-site, long-term bicycle parking should be located within the building or parking structure.

### 5.7.5 Off-Street Loading and Utility Areas

#### Purpose

This section establishes requirements for the safe receipt or distribution of materials or merchandise by vehicle to provide for:

- Needed loading and utility access for businesses and other uses while protecting safe and comfortable access for pedestrians and bicycles, as well as buffering adjacent residential neighborhoods.
- Expediting moving traffic and lessening street congestion by minimizing traffic conflicts between streets and the loading and unloading of merchandise or materials for various land use activities.
- Adequate off-street loading facilities for new land uses and for expansion of existing land uses.
- Safe, convenient, and efficient ingress/egress for loading and unloading.
- Safe and efficient on-site vehicular circulation systems by providing separate loading areas from the vehicular traffic lanes.
- Consolidation of loading facilities on sites with multiple uses or buildings; as well as shared loading access for separate properties in order to meet the access management, pedestrian access, and other goals for the Grant Road Improvement Project and the GRD.
- The visual enhancement of the city by promoting the screening and landscaping of loading, unloading facilities, and utility areas when visible from adjacent properties or streets.

#### General Provisions

- Change of Approved Vehicular Use Area: Per LUC Section 3.4.3.3.
- Use changes and expansions and resulting changes in parking requirements: Property owners and developers should consider the range of land uses that will use the space over the life of the development and the ability to share loading among uses on the site and with other nearby properties, and then document and provide the needed loading capacity and flexibility for the likely future uses of the site.

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### Required Number of Loading Spaces

#### Minimum number of spaces required

Per LUC Section 3.4.5.

#### Shared loading calculations

Shared loading agreements may reduce parking minimum requirements. A shared loading agreement must be prepared in a manner acceptable to the Director per LUC Section 3.3.5.1.D.10.

### Loading Design Standards

#### General Standards

- Per Development Standard 3-05.0, *vehicular use area* design criteria.
- Dimensional Requirements: Per LUC Section 3.4.4.7.
- Loading features such as bumper guards, doors, and elements for the protection of walls should be considered as part of the design of the building, not as an afterthought.
- Diagonal loading spaces and loading docks are allowed on constrained sites where standard spaces will not fit.
- Striping of Loading Spaces – Per LUC Section 3.4.4.6.

#### Location Requirements

- The loading area does not need to be on the same property as the use, per LUC Section 3.4.4.1.A.
- Locate loading facilities within an enclosed building wherever possible, Figure 5.7.5.a.
- Where loading facilities cannot be fully accommodated within an enclosed building, loading should occur at back of building or at side and must comply with Frontage Types.
- Consolidate loading facilities on a given site to the extent feasible.
- Share loading access across adjacent sites where feasible.
- Where loading must occur next to parking areas:
  - Separate outside loading areas from surface parking areas (See screening requirements in this section). Figure 5.7.5.b.



Figure 5.7.5.a: Photo example of loading facilities within the building envelope.



Figure 5.7.5.b: Photo example of separation between loading and parking facilities.

## 5. General Zoning Standards

- Locate loading next to employee parking (if present) rather than customer or visitor parking; employee parking areas tend to be less active than customer or visitor parking areas.

### Access and Circulation Standards

- Per LUC Section 3.4.4.2 but supersede residential zone provisions related to use of loading maneuvering and 3.4.4.2 A and B with the following:
  - A street may be used for maneuvering of a delivery vehicle into, or out of, a loading space, provided the street is not shown on the Major Streets and Routes (MS&R) Plan.
  - An alley may be used for maneuvering of a delivery vehicle into, and out of, a loading space, if the alley is at least twenty (20) feet wide and is paved for its entire block length. If a residential use abuts the alley, the owner of the property where the loading is occurring is responsible for ensuring that a concrete block wall is present between the alley and the residential use to minimize noise. If the owner of the residential property does not desire the wall, the requirement can be waived.
  - Direct through-access to entry and exit drives should be provided for trucks to minimize or eliminate turning movements within a parking lot, which create impediments to pedestrian access and safety, as well as that for bicycles and other vehicles, Figure 5.7.5.c.
  - Where trucks and autos must share access lanes and driveways, lanes and driveways should be designed to the minimum width and turning movements for trucks.
  - Clear right-of-way and parking restrictions signage should be provided where truck, auto, bicycle, and pedestrian conflicts may occur within a parking lot or along the curb of a public street.



Figure 5.7.5.c: Photo example of one-way through loading. This internal loading area exits on the other side of the block.

### Screening Requirements

- Loading and service areas that could be visible from adjacent streets, open spaces, or adjacent residential uses must be screened from view by an enclosure. Enclosures should be designed as an integral part of the building and should be made of finished materials compatible with the design of the primary building.

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Figure 5.7.5.d: Photo example of an exterior utility screen designed to complement the architectural design of the building.

- Loading docks and drop-off areas, and their associated maneuvering areas should be physically separated from parking areas via curbs, bollards, low or high walls, raised planters, landscaping, distance and/or elevation changes in order to break up the perceived amount of paving.
- For allowed screening materials, see the Section 5.7.7 Screening.
- See Section 5.7.7 Screening for required width of interior landscape borders and screening requirements for interior property lines.

### Lighting standards

Standards for lighting of loading area: Per City of Tucson/ Pima County Outdoor Lighting Code with amendments and additions as defined in Section 5.8 Lighting.

### Surfacing standards

Standards for surfacing of loading area: Per LUC Section 3.4.4.5.

### Performance standards for off-street loading

- Off-street loading located on lots adjacent to a residential use or a residentially zoned property shall restrict delivery and loading operations to the hours between 7:00 a.m. to 10:00 p.m.

### Utility Area Design Standards

- Building elements, such as garbage receptacles, utility meters, and mechanical equipment should be accommodated within the building envelope to the extent possible. If such elements must be outside of the building envelope, they should be screened from the view of pedestrians. Such screening should occur in ways harmonious with the overall building design. See Figure 5.7.5.d.
- Screening materials: see Section 5.7.7. Screening.

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### 5.7.6 Landscape

#### Purpose

The majority of landscape standards for the GRD are found in other GRD sections:

- See Section 5.5.7 Frontage Types for landscape requirements for street frontage.
- See Section 5.7.1 Parking for landscape requirements for parking areas.
- See Section 5.7.5 Off-Street Loading and Utility Areas for landscape requirements for off-street loading and utility areas.
- See Section 5.7.7 Screening for landscape requirements for screening interior property boundaries.
- Xeriscaping and Buffering: Per LUC Section 3.7.1.1.

#### Standards

- Plazas, parks, yards and other open spaces may be delineated by an entry gateway. Entry gateways shall be a maximum of 10' in height. Entry gateways may include features such as sunshades and arbors.
- Street Landscape Borders: City of Tucson LUC Section 3.7.2.4 and Development Standard 2-06.3.4 is superseded by the standards defined within Section 5.5.7 Frontage Types for each frontage type.
- Development Standards: subject to 2-06.0 and 2-16.0 except where noted.
- Use of Drought Tolerant Vegetation: Per LUC Section 3.7.2.2.
- *Vehicular Use Areas*: see Section 5.7.1. Parking; City of Tucson Development Standard 2-06.3.4 (Landscape Borders) and LUC 3.7.2.4.A is superseded by the GRD.
- Use of Turf: Per LUC Section 3.7.2.5.

- Plant Size, Location and Spacing: Per LUC Section 3.7.2.6.
- Plant Cover/Dust Control: Per LUC Section 3.7.2.7.
- Design for Safety: Safety factors must be incorporated per LUC Section 3.7.2.8.
- Use of the Public Right of Way: Non-required landscaping may be placed in the public right-of-way if requirements are met per LUC Section 3.7.2.9 and property owner establishes a maintenance agreement with the City Engineer.
- Native Plant Preservation: Per Division 8 of the LUC.

### 5.7.7 Screening

#### Purpose

The general purpose of screening is to provide visual barriers, noise reduction, and to provide privacy. (Ord. No. 9967, §3, 7/1/04). In the Grant Road District, screening also fulfills the following specific roles:

- Maintaining a comfortable walking environment along Grant Road and its cross streets.
- Providing an adequate transition between more intensive uses on properties along Grant Road and residential areas behind.

#### Standards

- Development Standard 2-06.3.7.B (Screen Location Along *Street Frontages*) is superseded by the GRD.
- See Section 5.5.7. Frontage Types for screening requirements along *street frontages*.
- Height Measurement: Per LUC Section 3.7.3.3.
- Sight Visibility Triangle: Per LUC Section 3.7.3.4.
- Phased Development: Per LUC Section 3.7.3.5.



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- Screening Materials: Per LUC Section 3.7.3.7, but amend to add “green screen” fences (non-chain link) as an allowed screening material, and exclude earth berms and chainlink as allowed screening materials.

### Screening at Interior Property Lines

#### Purpose

Interior landscape borders are required as a buffer and visual transition along the common property lines between adjacent land uses. Standards within this section supersede those contained in LUC Section 3.7.2.4 B and Table 3.7.2-I. Standards defined in Section 2-06.3.7 of the Development Standards apply with the exceptions, additions, and amendments made herein.

#### Standards

- Interior landscape borders are required along all interior property lines as defined below:
  - Landscape buffer width: minimum of 6’ except:
    - When adjacent to existing residential zones in which case the minimum buffer width is 8’.
  - Screen height: minimum of 6’ with the following exceptions where the minimum screen height shall be 8’:
    - When adjacent to existing residential zones;
    - In the Segment West when adjacent to a GRD Center Zoning Category; and,
    - When a loading area is within 20’ of an interior property line.
  - Exceptions to these standards are allowed for adjacent sites with common driveways, shared motor vehicle parking, or vehicular access easements.
  - In general, screens may consist of a wall or fence with the following exceptions where the screen shall be a wall up to its minimum screen height:
    - When adjacent to existing residential zones;
    - In the Segment West when adjacent to a GRD Center Zoning Category; and,
    - When a loading area is within 20’ of an interior property line.
  - Decorative, structural elements, such as arbors and lattice, may extend above the screen height up to a maximum of 2 additional feet above screening element.
  - Elements above screen heights shall be a minimum of 20% visually permeable.
  - Fences and walls shall be compatible with the architectural design of the less intense use.

## 5. General Zoning Standards

### 5.7.8 Open Space

#### Public Open Space within Private Development

##### Purpose

The Community Character & Vitality objectives that have been defined through the Grant Road Improvement Project include a desire for public gathering places of a variety of types. Some of these are appropriate to be integrated into the mixed use and commercial developments along Grant Road, as they provide an amenity for the public and also can make the development along Grant Road more attractive to potential patrons and residents.

##### Standards

- Requirements for functional public open space are defined by Grant Road zoning category in Table 5.7.8.a.
- Courtyards, motorcourts and plazas shall have a minimum *street frontage* width as defined Section 5.5.7 Frontage Types.

- Plazas, roof gardens, roof decks, courtyards and the non-vehicular area within motorcourts in private property may be counted as part of the open space calculation so long as they are available for public use **at least** between the hours of 6:00am and 10:00pm.
- Vehicular space, alleys, indoor facilities and areas that do not otherwise meet the definition of *functional open space*, per the definition in Section 7 Definitions, may not be counted as part of open space calculation. For motorcourts see minimum open space standards within Section 5.5.7 Frontage Types.
- Open space shall be integral to the design of the project and shall not encompass remnant space.
- To the maximum extent feasible, views from open spaces shall be fronted by active spaces within buildings or public streets, building entries, or natural features to provide visual interest, and enhance safety.
- To the extent feasible, maximize orientation of open space to southern and western exposure to encourage use throughout the year. See Section. 5.10 Environmental Resources for passive solar, shading, and cooling standards.

Table 5.7.8.a: Functional Open Space Requirements for Commercial and Mixed Use Development

Grant Road Zone Category	Minimum Open Space Requirement
Segment Central	3% of lot area for projects greater than 10,000 s.f. of leasable area
Center Neighborhood	5% of lot area for projects greater than 20,000 s.f. of leasable area 5% of lot area for projects 10,000 to 50,000 s.f. of leasable area
Center Marketplace	10% of lot area for projects greater than 50,000 s.f. of leasable area
Center Hub	5% of lot area for projects greater than 20,000 s.f. of leasable area
Center Crossroads	5% of lot area for projects greater than 50,000 s.f. of leasable area
Center General	3% of lot area for projects greater than 30,000 s.f. of leasable area
Segment East and West	3% of lot area for projects greater than 60,000 s.f. of leasable area

<sup>1</sup> Private open space requirement may be reduced to 60 s.f. minimum for each unit if usable common open space is provided at a minimum of 12% of GFA of building.

<sup>2</sup> Up to 75% of units may have less than 60 s.f./unit of private open space if the amount of private open space reduction is added to the common open space required.



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- Open spaces shall be provided with ample lighting in the evening up to 10:00 p.m. See Section 5.8 Lighting for height and design for light standards and other lighting standards.
- Open spaces shall be furnished, landscaped, and paved at a level of design and quality that encourages their use so that they do not become neglected or dangerous spaces. Elements may include planters and/or planting beds, trellises, arbors, water features, murals, decorative paving, seating, art, and decorative lighting.
- Fences and walls fronting onto open spaces may extend up to a maximum of three (3) feet in height.
- Buildings should front open spaces with active uses and primary entrances.
- Building walls and landscape walls siding onto open spaces shall be articulated and shall follow blank wall standards of the associated frontage.

### Private and Common Open Space for Multiunit Residential

#### Purpose

Residents of single-use multiunit residential developments and those within mixed use developments have recreational needs that can be best met through both private open space that is exclusive to each unit, as well as common open space shared by the residents; common space may or may not be accessible to the general public. These standards provide for that need.

#### Standards

- Requirements for functional private and common open space are defined by Grant Road zoning category in Table 5.7.8.b.
- Required common open space is in addition to required private open space.

Table 5.7.8.b: Minimum Functional Open Space Requirements for Residential Development

	Multifamily Residential		Single-Family Residential Attached or Detached
	Private Open Space	Common Open Space (% of GFA of building)	Open Space (% of lot area)
<b>Segment Central</b>	15% of gross s.f./unit <sup>1</sup>	n/a	15%
<b>Center Neighborhood</b>	60 s.f./unit <sup>2</sup>	7.5% <sup>3</sup>	10%
<b>Center Marketplace</b>	60 s.f./unit <sup>2</sup>	7.5% <sup>3</sup>	5%
<b>Center Hub</b>	60 s.f./unit <sup>2</sup>	7.5% <sup>3</sup>	5%
<b>Center Crossroads</b>	60 s.f./unit <sup>2</sup>	7.5% <sup>3</sup>	7.50%
<b>Center General</b>	60 s.f./unit <sup>2</sup>	10% <sup>4</sup>	10%
<b>Segment East and West</b>	60 s.f./unit <sup>2</sup>	10% <sup>4</sup>	10%

<sup>1</sup> Private open space requirement may be reduced to 60 s.f. minimum for each unit if usable common open space is provided at a minimum of 12% of GFA of building.

<sup>2</sup> Up to 75% of units may have less than 60 s.f./unit of private open space if the amount of private open space reduction is added to the common open space required.

<sup>3</sup> Common Open Space may be reduced to a minimum of 5% GFA of building where publicly accessible open space is provided on the same lot for mixed use development. A maximum of 50% of the publicly accessible open space may be counted towards this reduction.

<sup>4</sup> Common Open Space may be reduced to a minimum of 7.5% GFA of building where publicly accessible open space is provided on the same lot for mixed use development. A maximum of 50% of the publicly accessible open space may be counted towards this reduction.

## 5. General Zoning Standards

- Balconies, patios, porches, gardens, roof gardens, roof decks, rear yards, public yard frontage, private yard frontage, courtyards and the non-vehicular area within motorcourts may be counted as part of open space calculation.
- Vehicular space, alleys, and areas that do not otherwise meet the definition of *functional open space*, per the definition in Section 7 Definitions, may not be counted as part of open space calculation.
- Courtyards and Motorcourts shall have a minimum width as per defined within the Section 5.5.7 Frontage Types.
- No area shall qualify as open space unless they have a minimum clear space as follows:
  - Balconies: 6x10 feet.
  - Ground floor patios: 8x10 feet.
  - Common open space: 10x20 feet.
- Open space shall be integral to the design of the project and shall not encompass remnant space.
- Open spaces shall be fronted by active spaces within buildings to enhance safety.
- Locate common open space to maximize accessibility for all residents.
- Maximize orientation of open space to southern and western exposure to encourage use throughout the year. See Section 5.10 Environmental Resources for passive solar, shading, and cooling standards.
- Open spaces shall be furnished, landscaped and paved at a level of design and quality that encourages their use by all residents. Elements may include planters and/or planting beds, trellises, arbors, water features, murals, decorative paving, seating, art and decorative lighting.
- Design open spaces to create a variety of climate environments to facilitate activity in different seasons and weather conditions. See Section 5.10 Environmental Resources for standards.



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### 5.8 Lighting

#### 5.8.1 Purpose

In order to achieve the community's goals for the Grant Road District to be a vibrant, economically active, and pedestrian supportive environment, safety and business visibility are vitally important throughout the day. Good levels of lighting are important for maintaining a safe and secure pedestrian realm during the evening. Standard cobrahead and other auto-oriented lights inadequately light the pedestrian space. Pedestrians need brighter, more even, naturally-colored lighting because they look at more detail, have a smaller field of focus, move at a slower pace, and stop more frequently for longer periods of time than people moving in a vehicle. This requires shorter light standards with a higher level of design detail than typical auto-oriented lighting poles and fixtures. Well-designed pedestrian lighting can contribute to the ambience of the environment through the patterns and distribution of light as well as add to the sense of place through their appearance.

The lighting standards for the Grant Road District must balance these objectives with maintaining the City's goals of conserving energy and resources, cost efficiency and minimizing glare and spillover lighting as well as light pollution that will interfere with the desire to maintain adequate dark skies in keeping with Tucson's setting within a desert environment to the nearby Kitt Peak National Observatory.

#### 5.8.2 Applicability

These standards define the characteristics of lighting and lighting fixtures that are used for lighting exterior spaces within the Grant Road District. These standards are in addition to the City of Tucson/Pima County Outdoor Lighting Code.

### 5.8.3 Standards

#### General Standards

- Within proximity to areas of potential pedestrian activity, fixtures that are closely spaced with lower light levels are preferred over fixtures spaced further apart that compensate with intense yet varied light levels.
- In areas where high levels of pedestrian activity is expected, such as at the Centers along Grant Road, Low Sodium Pressure lights (LPS) are discouraged. Metal halide light sources shall be used in pedestrian areas, streets, and parking areas for their white color of light that contributes to the comfort of users. Particular areas where higher lighting levels should be given priority are those where potential conflicts between pedestrians and vehicles occur, such as crosswalks, parking areas, as well as pedestrian spaces that will contain evening activity such as transit stops, plazas, parks and pass-throughs. In addition, routes from key uses to transit stops should also be given priority; key uses would include grocery stores, community and civic facilities, and other uses that are well patronized by transit riders.
- The preferred method for determining maximum total outdoor lighting output requirements for properties within the Centers of the Grant Road District is Option 3 Commercial and industrial light output as per Table 401.1 of the 2006 City of Tucson/Pima County Outdoor Lighting Code, with full cut-off for most lighting preferred.
- Fixture location shall maintain a regular spacing such that lighting levels remain even along a predetermined area based on an overlap of illumination at a height of seven (7) feet above finish grade.
- Fixture location shall minimize conflicts with street trees such that fixtures are not buried deep in the canopy of trees, therefore reducing their effectiveness.

## 5. General Zoning Standards

- All exterior lighting shall be designed so as to not produce glare onto pedestrian spaces and adjacent uses.
- Outdoor lighting shall conform to the following:
  - Lighting shall be shielded and directed downward.
  - Lighting within one hundred (100) feet of a residential zoning or use shall not exceed fifteen (15) feet in height.
  - All other lighting on site shall not exceed twenty-five (25) feet in height.
- Pedestrian fixture heights shall be between 12 and 20 feet high to the bottom of the luminaire. Light standards may also be combined on one post. Low, pedestrian-oriented lights can be affixed to a post and direct light onto sidewalks, while the same post may also accommodate auto-oriented lights directed at roadways.



Figure 5.8.3.a and 5.8.3.b: Photo examples of integrating exterior building lighting design to complement the architectural design of the building.

### Building Lighting

- All exterior building lighting shall be an integral part of a building's architectural design. Accent lighting may be used to highlight interesting architectural features, landscaping, signs and storefront displays. See Figures 5.8.3.a and 5.8.3.b.

### Bicycle Parking

Per LUC Sections 3.3.9.2.A.5 and 3.3.9.4.E.



## 5. General Zoning Standards

### 5.9 Signs

#### 5.9.1 Purpose

The sign standards within the Grant Road District provide flexibility in design in order to respond to a more diverse set of activities and range of character desired for the Centers and Segments along Grant Road. Signs are encouraged to be imaginative, unique and/or otherwise tasteful. They should be within the spirit and intent of the Grant Road District and objectives of the Grant Road Community Character & Vitality Plan. The sign standards take into account the range in emphasis on pedestrian-oriented character in the zoning categories within the Grant Road District.

#### 5.9.2 Applicability

Standards contained within Chapter 3 Sign Code of the Tucson Code are applicable within the Grant Road District as modified herein. In the case of conflicting standards, the standards herein shall prevail.

#### 5.9.3 Standards

##### General Standards

- Bicycle Parking Signage: LUC Section 3.3.9.4.D applies to the Grant Road District.
- Sale of liquor: LUC Section 3.5.4.7.H applies to the Grant Road District.
- The General Standards provided in this section are applicable to all subcategories within the Grant Road District. Standards contained in the Chapter 3 Sign Code of the Tucson Code Article IV apply with the following exceptions or amendments:
  - The definitions in Article II. General Requirements of Chapter 3 Sign Code of the Tucson shall be amended to add glass as a material. See also Section 7 Definitions.
  - Table 5.9.3.a defines applicable Tucson Sign Code Districts as defined within the Sign Code and amended herein for each category of the Grant Road District.

##### Prohibited Signs

Tucson Code Chapter 3 Sign Code Section 3-53 Prohibited Signs Enumerated applies to the Grant Road District with the following amendments:

- Billboards. Freestanding and mounted or attached to buildings are prohibited; this does not include signs that are painted on building walls.
- Internally illuminated sign boxes, awnings, canopies, pole signs, projecting signs are prohibited. Internally illuminated channel letters and reverse channel letters are allowed.
- Internally illuminated menu boards are restricted to drive thru businesses and shall not exceed one per business. Light from internally illuminated menu boards shall be screened from view from streets and open spaces.

##### Signs By Tucson Sign Code District

A range of Sign Code Districts apply to various Centers and Segments, Frontage Types, and zoning categories of the Grant Road District. The Sign Code Districts are defined as per the *Tucson Code Chapter 3 Sign Code Article VI* with the following exceptions:

##### Single-family Residential District

Per Tucson Code Chapter 3 Sign Code Section 3-72 with the following revisions:

- Permitted signs:
  - *Awning signs*: Not allowed for single-family residential use.
  - *Banner signs*: Attached and curbside banners allowed for nonresidential uses.

##### Multiple family residential district

Per Tucson Code Chapter 3 Sign Code Section 3-73 with the following revision:

- *Banner signs*: Attached and curbside banner signs are allowed.

## 5. General Zoning Standards

### 0-1 Zone District

Per Tucson Code Chapter 3: Sign Code Section 3-75 with the following revisions:

- Illumination and color: signs on collector, local and new streets shall incorporate broad spectrum lighting such as external LED, halo or internally illuminated channel and reverse channel letters.

### Pedestrian Business District

Per Tucson Code Chapter 3: Sign Code Section 3-81 with the following revision:

- Permitted signs: Externally illuminated menu signs are allowed.

Table 5.9.3.a: Grant Road District Zoning Category Signage

GRD Zoning Category	Sign Code Districts						
	Single family residential	Multiple family residential	Park district	O-1 zone	Medical business	Industrial	Pedestrian business <sup>1</sup>
	Sec. 3-72	Sec. 3-73	Sec. 3-74	Sec. 3-75	Sec. 3-78	Sec. 3-79	Sec. 3-81
Center Hub	not applicable	applicable	applicable	applicable	applicable	not applicable	Required
Center Marketplace	not applicable	applicable	applicable	applicable	applicable	not applicable	applicable
Center Crossroads	not applicable	applicable	applicable	applicable	applicable	not applicable	applicable
Center Neighborhood	not applicable	applicable	applicable	applicable	applicable	not applicable	Required
Center General	not applicable	applicable	applicable	applicable	applicable	not applicable	applicable
Segment East and West	not applicable	applicable	applicable	applicable	applicable	applicable in Segment East only	applicable
Segment Central	applicable	applicable	applicable	applicable	applicable	not applicable	Required
Segment East and West	not applicable	applicable	applicable	applicable	applicable	applicable in Segment East only	applicable
Segment Central	applicable	applicable	applicable	applicable	applicable	not applicable	Required

<sup>1</sup> The Pedestrian Business Sign District is required for any Public or Private Storefront frontage types, and required in any zoning category within the following specific Centers within the Grant Road District – the Fontana Center, the Center Neighborhood zoning category within the 1st Avenue Center, the Campbell Center, Country Club Center, and the Alvernon Center.

## 5. General Zoning Standards



Figures 5.10.2.a through 5.10.2.c:  
Photo examples of urban stormwater  
and water harvesting elements.

## 5.10 Environmental Resources

### 5.10.1 Purpose

Environmental sustainability through efficient use of natural resources, and protection and restoration of natural resources and systems is an important goal of the Grant Road Community Character and Vitality Plan and the City of Tucson. Development in the Grant Road District can support these goals through such practices as designing for passive cooling and heating to reduce the energy consumption of development as well as providing for rainwater harvesting and stormwater management systems on site in order to protect the desert environment's scarce water resources and mitigate flooding as feasible.

### 5.10.2 Standards

#### General Standards

- Native Plant Preservation: Per LUC Division 8 and Tucson Development Standards Section 2-15.1.0 for standards for development within the GRD.
- Solar Considerations: Per LUC Section 3.2.12 for standards for development within the GRD.
- Energy Conservation. The facilities should use little energy to run; be constructed to last; have low maintenance needs; and respect the regional, cultural, and material uniqueness of Tucson.
- Sustainable Energy Standard. All public facilities shall meet the requirements of the Sustainable Energy Standard to the extent reasonable. The Standard may be waived by the City Manager based on factors including, but not limited to, excessive cost or unsuitability to the project.

#### Passive Solar and Cooling

##### Site Design

- For parking lot shade provisions, see Section 5.7.1 Parking under the Landscape subheadings for Surface Parking Lot Design Standards and Off-Street Loading and Utility Areas for standards and guidance.

## 5. General Zoning Standards

- Courtyards and motorcourts shall be shaded a minimum of 50% at noon on June 21 (accounting for trees at maturity).
- Shade shall be provided for at least fifty 50% of all pedestrian pathways, pedestrian pass-throughs, outdoor plazas, parks, courtyards, gardens, outdoor bicycle parking areas and other private open space amenity, as measured at 2:00 p.m. on June 21 when the sun is 82° above the horizon (based on 32°N Latitude). Shade may be provided by trees, arcades, canopies, shade or roof structures, and/or adjacent buildings.
- Shading features shall respect the design context of the street and the architectural integrity of the building. The use of plantings in the City right-of-way is permitted to meet this standard. See Figures 5.10.2.d and 5.10.2.e.
- Deciduous trees, as proposed in the Downtown Comprehensive Street Tree Plan, are encouraged to supplement existing evergreen trees.
- Include amenities such as water features to cool outdoor spaces. Standards for water features shall follow Section 3.7.4.4 of the LUC.
- Consider prevailing wind patterns in the design of open spaces to take advantage of natural breezes to cool outdoor spaces or screen spaces from strong prevailing winds.



Figure 5.10.2.d and 5.10.2.e: Photo examples of shading devices that integrate with building and site design; the shading device on the left is to provide shade for pedestrians passing along the edge of a plaza and the device on the right provides shade and building articulation.

### Building Design

- Buildings shall be designed to provide complete shade to all windows on June 21. On new construction, shading devices that require manual operation to accomplish the shading do not qualify as building design that provides shade.
- Deciduous trees, as proposed in the Downtown Comprehensive Street Tree Plan, are encouraged to supplement existing evergreen trees. Deciduous landscaping at maturity shall be integrated into the project to provide shade to eighty (80) percent of the east and west facing walls on June 21.
- On new construction, where the building does not share party walls with adjacent buildings, landscaping alone does not satisfy this criterion.

## 5. General Zoning Standards

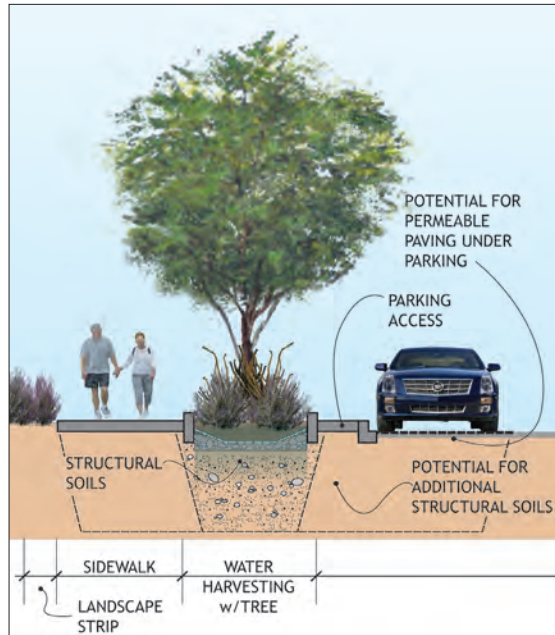


Figure 5.10.2.f: Section illustrative of tree well microbasin system.

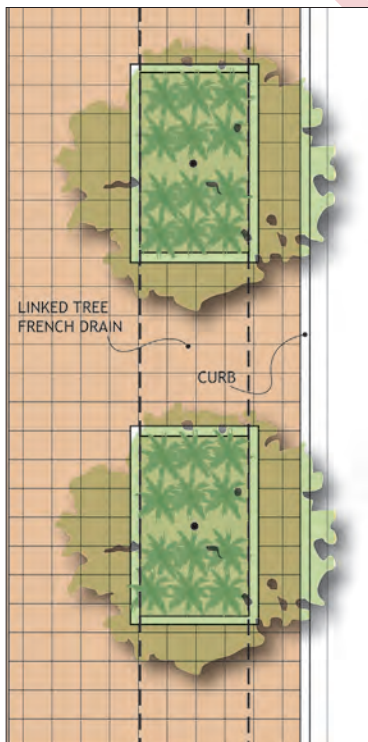


Figure 5.10.2.g: Linked tree trench french drain.

### Stormwater Management, Water Conservation and Irrigation, and Rainwater Harvesting

#### Stormwater Management

Planning and design of stormwater detention and retention facilities within the GRD shall comply with the Pima County and City of Tucson Stormwater Detention/Retention Manual, and Section 10-01.0 of the Tucson Development Standards, with the following modifications:

- **Surface Storage:** due to the urban nature of development that is expected within the GRD, it is likely that underground storage and subsurface disposal will be relied upon in the management of stormwater in most new developments.
- Depending upon the economics of new development, the use of underground storage with permeable concrete or asphalt may be appropriate for larger surface parking lots and hardscaped open spaces.
- **Aesthetic Design Guidelines:** given the urban nature of development that is expected within the GRD, the more natural or curvilinear design guidance provided in the Detention/Retention Manual may not be appropriate for most new development within the GRD. Stormwater management systems shall be configured to reflect the more urban character of the Grant Road District and integrated in ways that contribute to the aesthetics of the development as water features and amenities.
- The use of stormwater management facilities requiring security barriers should be minimized to the extent feasible in the GRD.

#### Water Conservation and Irrigation

Water Conservation and Irrigation: Per Tucson Development Standards Section 2-06.5.0.

#### Rainwater Harvesting

Tucson water harvesting ordinance must be met per Tucson Development Standards Section 10-03.0.0 with the following amendment:

- Non-residential, mixed use, and multifamily projects within the GRD shall be subject to Ordinance No. 10597, the Commercial Rainwater Harvesting Ordinance.

## 5. General Zoning Standards

Use of Water: Per LUC Section 3.7.4 with the following exception:

- Water features may be located outside of an oasis in non-residential development.

Water harvesting techniques shall be incorporated as part of the landscape, open space, parking lot, and general site design based on the Water Harvesting Guidance Manual prepared for the City of Tucson Transportation Department Stormwater Section, with the following additions and refinements:

Given the more urban nature of the development allowed by the GRD some alternative or hybrid water harvesting techniques are appropriate within the GRD, including—

- Tree Well Microbasins:** This technique is a refinement of Microbasin Technique E from the Guidance Manual, page 5. Within a sidewalk, parking lot, plaza, or other hardscaped area, a tree well is provided with a raised curb or tree guard between the paved area and the microbasin. Structural soils, or a similar system to protect from compaction, are provided under the adjacent paving to both provide for healthy root growth and some capacity for stormwater, and to support the potential for infiltration. See Figure 5.10.2.f. Permeable paving can also be provided in the area above the structural soils to more evenly distribute the storm water across the underground microbasin. In this case of open tree wells, without tree grates, additional landscape can be provided in the tree well.
- Linked Tree Trench French Drains:** This technique is an expansion of the Tree Well Microbasin technique described above. Rather than excavating for a single tree well a trench is excavated and filled with structural soil to provide for a row of trees and additional stormwater capacity. The trench can either be uncovered and with landscaping in addition to the trees, or tree grates can be used to maximize the usable area of the paved area. Permeable paving can be provided above the area of structural soil to more evenly distribute the storm water. See Figure 5.10.2.g.
- Use of Under Drains:** Either a Tree Well Microbasin or a Linked Tree Trench French Drain can be provided with an under drain in order to avoid inundating roots for an excessive time period in cases where water flows are too high or where soil conditions do not support adequate infiltration. See Figures 5.11.3.h and 5.11.3.i.

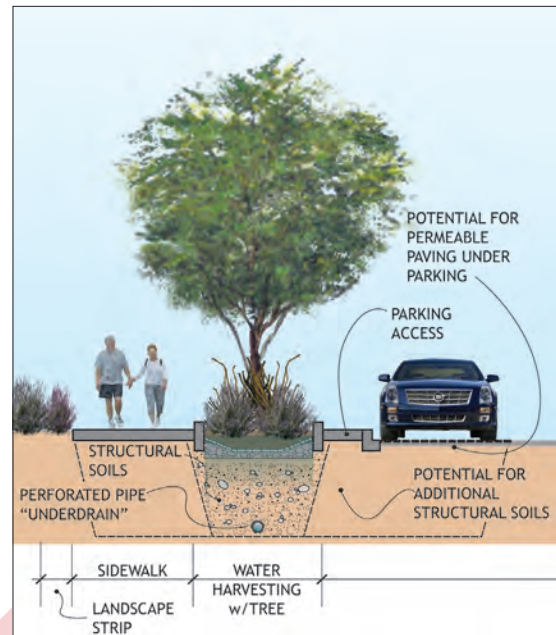


Figure 5.10.2.h: Tree well microbasin with under drain.

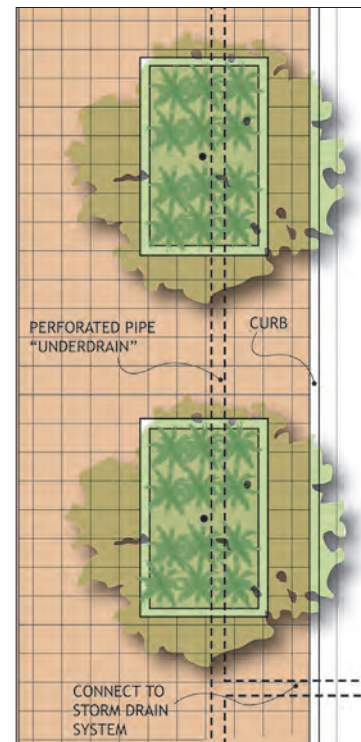


Figure 5.10.2.i: Linked tree trench french drain with under drain.



## 6. Grant Road District Categories

# 6. GRANT ROAD DISTRICT CATEGORIES

## 6.1 Purpose

In order to achieve the community character along Grant Road set out in the Vision Concepts for Centers and Segments, the single Grant Road District has eight (8) zoning categories. These categories address the varying conditions within the GRD and reinforce the desired character for the Centers and Segments along Grant Road. These categories include five (5) Center categories and three (3) Segment categories. The standards for each of these categories are in addition to the standards in the General Standards section of the GRD.

## 6.2 Applicability

These categories are applicable to specific properties according to the map at the left.

## 6.3 Center and Segment Category Standards

The following pages specify the standards for each GRD Category.

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## 6. Grant Road District Categories

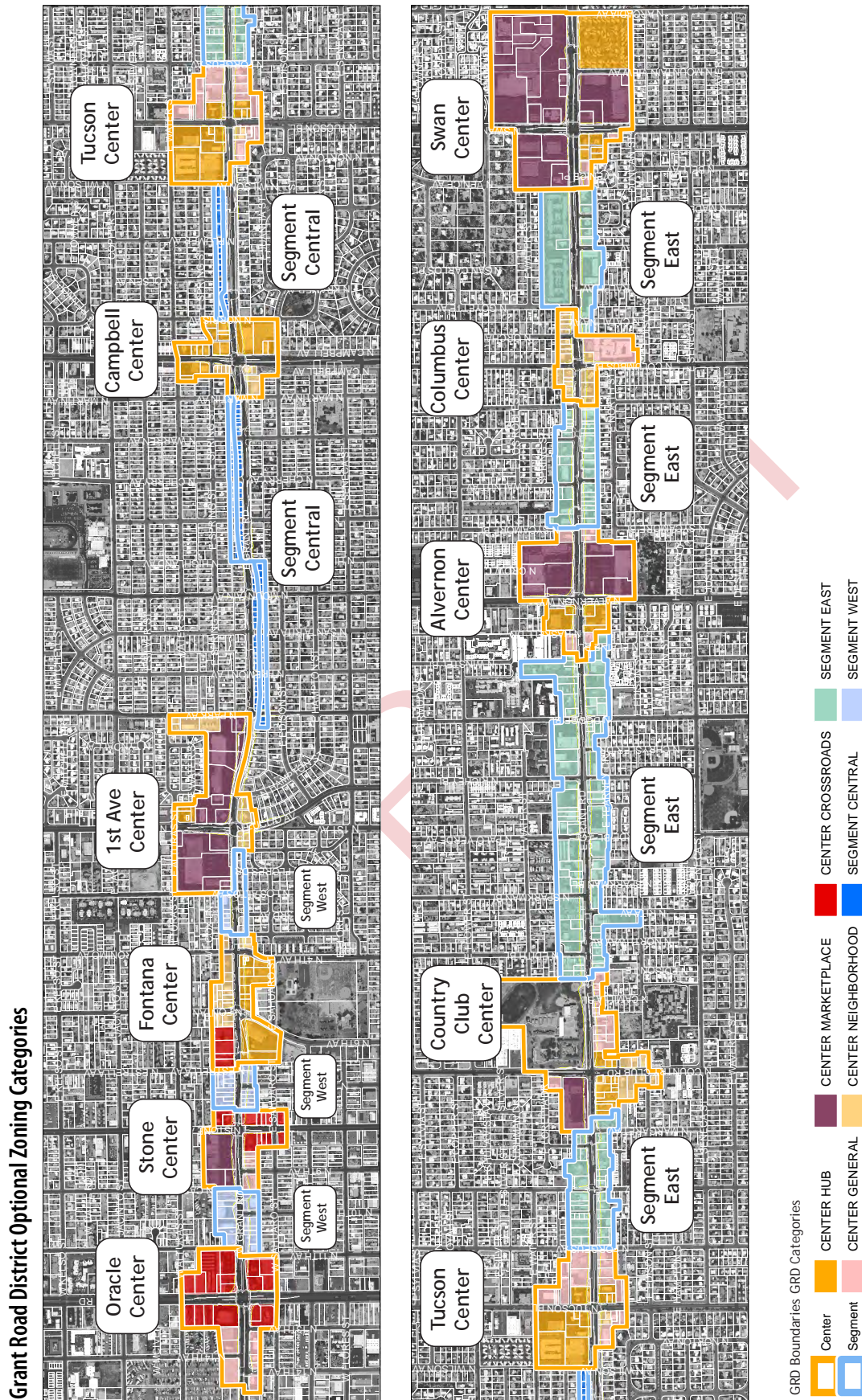
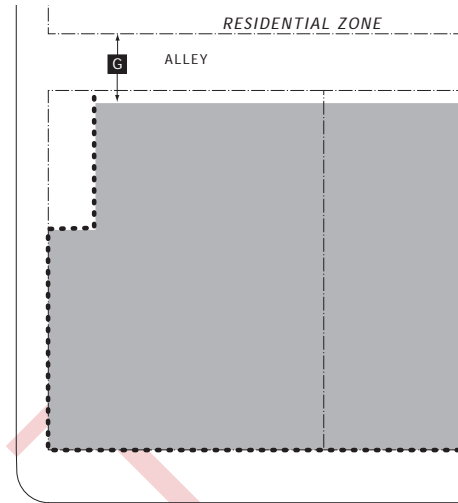
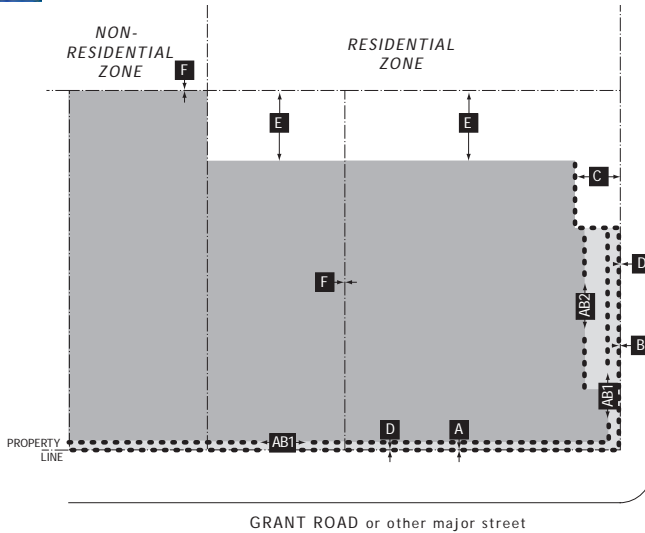


Figure 6.a: Grant Road District Zoning Category Map.



# Center Marketplace



**Key**

- Property Line (dashed line)
- Build-To Line (dotted line)
- Buildable Area (grey shaded)
- Buildable Area dependent Frontage Type used (lighter grey shaded)

## Street Frontage & Building Placement

Build-to Line <sup>1</sup>		
Along Major Streets	0'	<b>A</b>
Along other streets	0'	<b>B</b>
<b>EXCEPT for:</b>		
Private Storefront Frontage Type	up to 2'	<b>AB1</b>
Porch Frontage Type	up to 10'	<b>AB2</b>
Along all streets within 50' of a Residential Zone	prevailing setback of Residential Zone	<b>C</b>

### Notes

- For individual lot frontages on Major Streets, at least 65% of the lot frontage must have building facade at the build-to line.
- For individual lot frontages on existing non-Major Streets, at least 50% of the lot frontage must have building facade at the build-to line.
- Individual lot frontages must have building facade at the build-to line within 50' of intersections involving a Major Street and within 30' of intersections involving a new street.

Perimeter Yard Minimums <sup>1,2</sup>		
Street Frontages	0'	<b>D</b>
Street frontages within 50' of a Residential Zone	prevailing setback of Residential Zone	<b>C</b>
<b>On Lot Interior:</b>		
abutting Residential Zone	22'	<b>E</b>
abutting non-Residential Zone	0'	<b>F</b>
lots abutting alley may count alley width toward perimeter yard requirement		<b>G</b>

Frontage Types	
Public Storefront	Allowed
Private Storefront	Allowed only on non-Major Streets except within 30' of their intersections with Major Streets
Arcade	Allowed
Porch	Allowed only on non-Major Streets except within 30' of their intersections with Major Streets
Public Yard	Allowed except within 30' of intersections of Grant Road with Major Streets
Private Yard	Allowed only on existing non-Major Streets except within 30' of their intersections with Major Streets
Courtyard	Allowed
Parking Lot	Allowed except within 30' of intersections involving Major Streets
Park or Plaza	Allowed

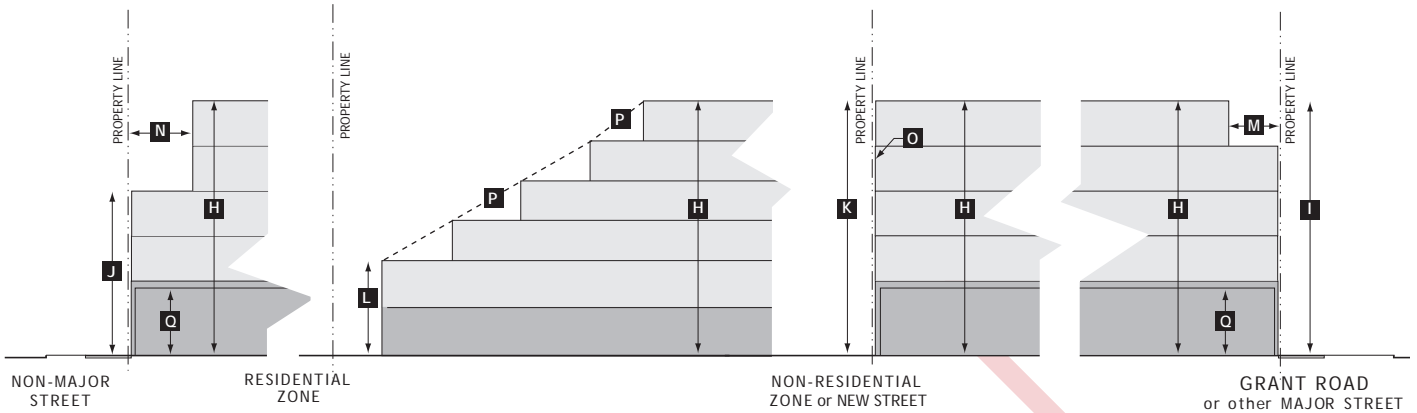
### Notes

- See Frontage Types Section 5.5.7 for standards for each Frontage Type.
- Vehicular drives prohibited along Major Streets within 30' of intersections.
- Frontage Types must also achieve build-to line requirements.
- Publicly accessible open spaces should be treated as non-Major Streets for the purposes of allowed Frontage Types.
- At least 80% of the building frontage along streets and open spaces shall contain active ground floor uses. Active uses include retail space, lobbies, entries, offices, living rooms, and kitchens of residential uses, common rooms and recreation spaces of institutional and public gathering uses, and other similarly active uses. These do not include storage areas, bathrooms, bedrooms, or other similarly less active or private uses.

<sup>1</sup> See discussion of Minor Improvements for exceptions, on next page.

<sup>2</sup> See Frontage Types in Section 5.5.7 for Perimeter Yard Maximums.

# Center Marketplace



## Building Height, Massing & Articulation

Maximum Building Height		
Site Maximum	65'	<b>H</b>
On Grant Road and other Major Streets	55'	<b>I</b>
On non-Major Streets (general)	45'	<b>J</b>
On non-Major Streets (across from Residential Zones except within 50' of an intersection with a Major Street)	30'	<b>J</b>
On new streets	65'	<b>K</b>
Abutting Residential Zones	25'	<b>L</b>
Abutting non-Residential Zones	65'	<b>K</b>
<ul style="list-style-type: none"> <li>In Country Club Center, Site Maximum is 55'</li> </ul>		

Minimum Upper Floor Stepbacks <sup>3</sup>		
for heights above maximum allowed on Grant Road and other Major Streets to Site Maximum	10'	<b>M</b>
for heights above maximum allowed on non-Major Streets to Site Maximum	15'	<b>N</b>
for heights above maximum allowed on new streets to Site Maximum	0'	<b>O</b>
for heights above maximum allowed abutting Residential Zones:		<b>P</b>
Above 25' and up to 55' of building height	2' for every additional 1' of height <sup>4</sup>	
Above 55' to Site Maximum building height	1.5' for every additional 1' of height <sup>4</sup>	
for heights above maximum allowed abutting non-Residential Zones to Site Maximum	0'	<b>O</b>

<sup>3</sup> Alley widths may count toward stepback distances.

<sup>4</sup> Base point for stepback measurement is minimum perimeter yard.

Ground Floor Height		
Minimum clear ground floor ceiling height on public frontages for non-residential use	16'	<b>Q</b>

## Minor Improvements:

For the purposes of this category, minor improvements are those where less than 50% of the existing buildings are demolished in the reuse of the property.

- Only new buildings and the portion of the property that is being redeveloped need comply with the Grant Road District *build-to line*, *perimeter yard*, frontage type, height, stepback, and land use requirements.
- Compliance with multi-modal circulation requirements shall be through on-site circulation improvements (including sidewalks and landscaping) that begin to establish a pattern of blocks for the future revitalization of the property.

## Multi-Modal Circulation:

- The character of the Center Marketplace category depends largely on the addition of new streets on the sites zoned with this category. New streets can create the framework of the transition of sites from auto-focused shopping centers to walkable mixed-use shopping areas.
- Blocks with Major Street faces longer than 300' must be bisected by new streets.
- See General Standards and Block and Circulation Standards for the design of new streets and other standards.



# Center Marketplace

## Permitted Land Uses

<b>Agricultural Use Group</b>	
General Farming	(6)
<b>Civic Use Group</b>	
Civic Assembly	
Cultural Use	
Educational Use	
Membership Organization	
Postal Service	
Protective Service	
Religious Use	
<b>Commercial Services Use Group</b>	
Administrative and Professional Office	
Alcoholic Beverage Service	
Animal Service	(8) (9)
Communication	
Day Care	
Entertainment	(13)
Financial Service	(18)
Food Service	(19) (20) (21)
Funeral Service	(22)
Medical Service-Extended Health Care	
Medical Service Outpatient	
Parking	
Personal Service	
Technical Service	
Trade Service and Repair, Minor	
Travelers Accommodation, Lodging	
Artisan Residence	

**Notes:**

- 4 – Allowed only when associated restaurant and/or retail facility.
- 5 – Allowed only when associated with a business or residence on the same property.
- 6 – Allowed only when associated with residential use, restaurant, or community garden activity.
- 7 – No vehicular fuel sales (i.e.; gas stations) permitted in the Fontana Center, Campbell Center, Country Club Center, and Columbus Center.
- 8 – No boarding of animals permitted.
- 9 – All activities must be within a completely enclosed building.

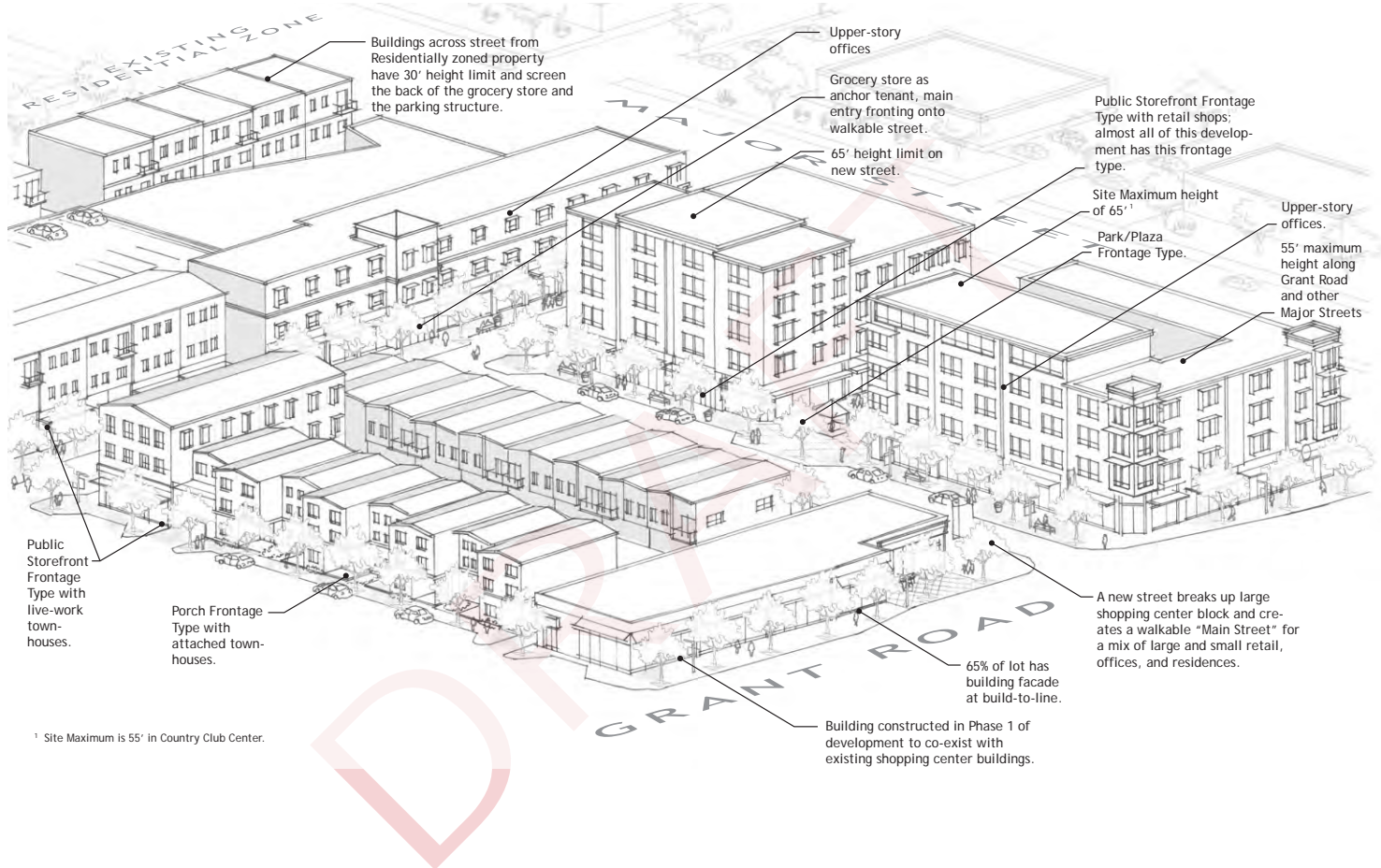
<b>Industrial Use Group</b>	
Craftwork	
Perishable Goods Manufacturing	(4) (26)
<b>Recreation Use Group</b>	
Neighborhood Recreation	
Recreation	
<b>Residential Use Group</b>	
Family Dwelling	
Group Dwelling	
Residential Care Services	
<b>Retail Trade Use Group</b>	
Food and Beverage Sales	
General Merchandise Sales	Single use building footprint 40,000 sf max. (7) (27)
Swap Meets and Auctions	Outdoor use area 15,000 s.f. max. (29)
<b>Storage Use Group</b>	
Personal Storage	(5) (31) (32)
<b>Utilities Use Group</b>	
Distribution System	
Renewable Energy Generation	

- 13 – Use shall not result in a noise measurement at an adjacent residentially zoned property equal to or higher than 55 dB A) from 7:00 a.m. to 10:00 p.m. or 50 dB(A) from 10 p.m. to 7:00 a.m.
- 18 – Drive through aisles not allowed.
- 19 – Drive-in or drive-through restaurants or windows are not allowed.
- 20 – Section 3.5.4.6 of the LUC applies.
- 21 – Section 3.5.4.7.A of the LUC applies.
- 22 – Section 3.5.4.22 of the LUC applies.
- 25 – The operation of the artisan residence shall not create noise, vibrations, smoke, fumes, dust, odors, vapors, other noxious emissions, or any other similar nuisances that are discernible

# Center Marketplace

## Illustrative View

*One possible scenario showing how new and modified existing development could meet the development standards of the Center Marketplace category*



### Notes on Permitted Land Uses (Continued):

beyond the boundaries of the structure enclosing the artisan residence.

26 – Sections 3.5.5.2.A and 3.5.5.2.B of the LUC apply.

27 – Section 3.5.9.2.A of the LUC applies.

29 – Section 3.5.9.4 of the LUC applies.

31 – Section 3.5.10.3 of the LUC applies, except for 3.5.10.3.G.

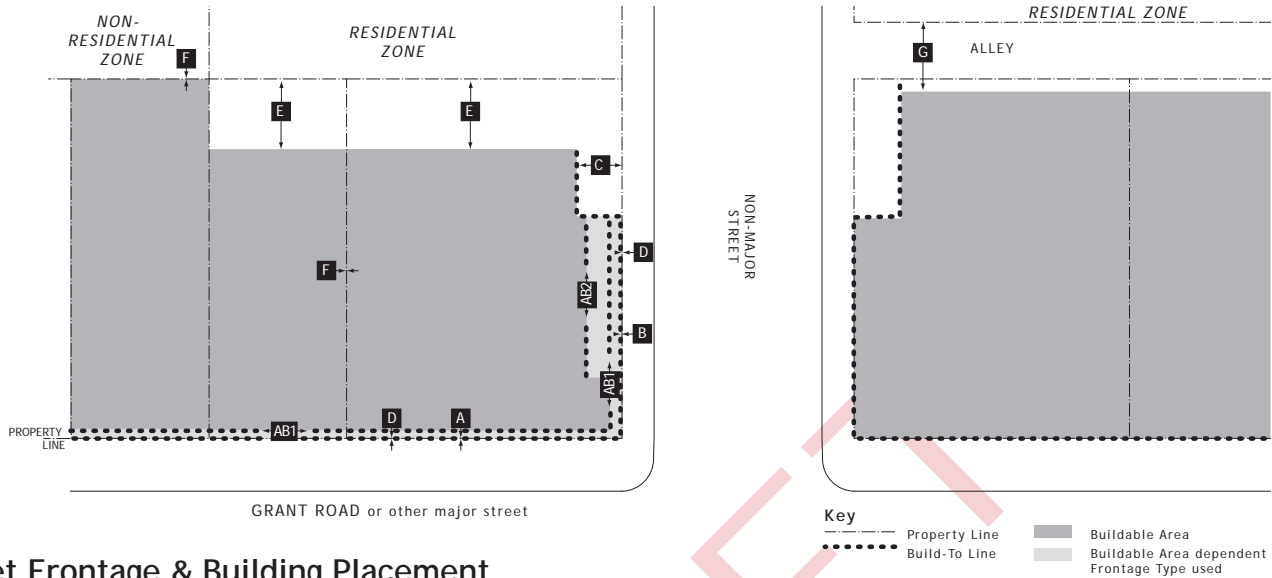
32 – Maximum storage area shall not be larger than 100 sq.ft. per dwelling unit and per 1,000 sq. ft. of business space.

33 – Sections 3.5.11.1. A, B, E, I, and K of the LUC apply.

34 – Section 3.5.11.2 of the LUC applies.



# Center Crossroads



## Street Frontage & Building Placement

Build-to Line		
Along Major Streets	0'	<b>A</b>
Along other streets	0'	<b>B</b>
<b>EXCEPT for:</b>		
Private Storefront Frontage Type	up to 2'	<b>AB1</b>
Porch Frontage Type	up to 10'	<b>AB2</b>
Along all streets within 50' of a Residential Zone	prevailing setback of Residential Zone	<b>C</b>

### Notes

- For individual lot frontages on Major Streets, at least 65% of the lot frontage must have building facade at the build-to line.
- For individual lot frontages on non-Major Streets, at least 50% of the lot frontage must have building facade at the build-to line.
- The Shared Motorcourt Frontage Type is an exception to the above standards; For Shared Motorcourts only 40% of the lot frontage must have building facade at the build-to line.
- Individual lot frontages must have building facade at the build-to line within 50' of intersections involving a Major Street.

Perimeter Yard Minimums <sup>1</sup>		
Along Street Frontages	0'	<b>D</b>
Street frontages within 50' of a Residential Zone	prevailing setback of Residential Zone	<b>C</b>
<b>On Lot Interior:</b>		
abutting Residential Zone	22'	<b>E</b>
abutting non-Residential Zone	0'	<b>F</b>
lots abutting alley may count alley width toward perimeter yard requirement		<b>G</b>

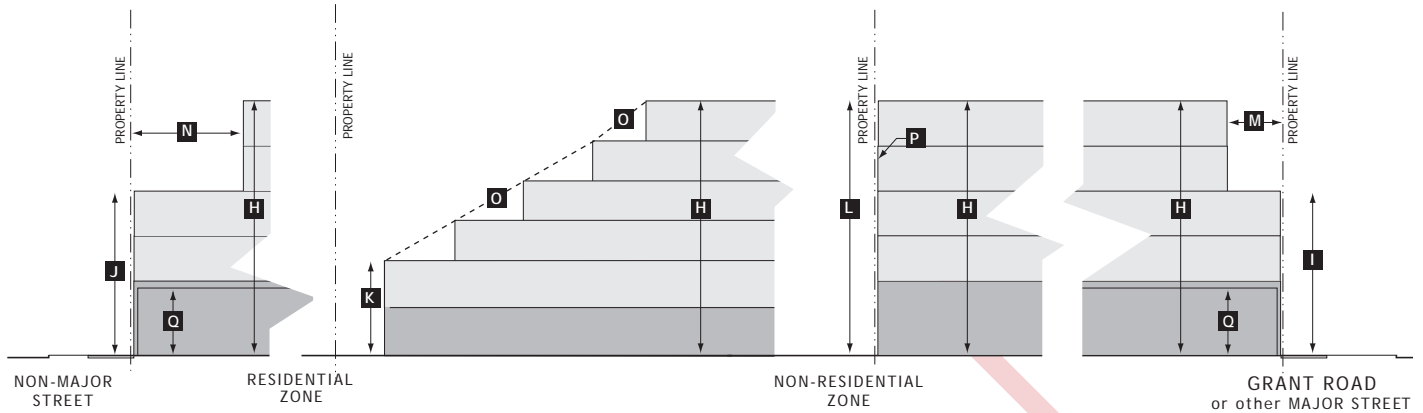
<sup>1</sup> See Frontage Types in Section 5.5.7 for Perimeter Yard Maximums.

Frontage Types	
Public Storefront	Allowed
Private Storefront	Allowed except within 30' of intersections of Grant Road with other Major Streets
Arcade	Allowed
Service Garage	Allowed in Oracle and Stone Centers only
Porch	Allowed only on non-Major Streets except within 30' of their intersections with Major Streets
Public Yard	Allowed except within 30' of intersections of Grant Road and other Major Streets
Private Yard	Allowed except within 30' of intersections involving a Major Street
Shared Motorcourt	Allowed in Oracle and Stone Centers only
Courtyard	Allowed
Parking Lot	Allowed but cannot be within 30' of intersections involving a Major Street
Park or Plaza	Allowed

### Notes

- See Frontage Types in Section 5.5.7 for standards for each Frontage Type.
- Vehicular drives prohibited along Major Streets within 30' of intersections.
- Frontage Types must also achieve build-to line requirements.
- Publicly accessible open spaces should be treated as non-Major Streets for the purposes of allowed Frontage Types.
- Active ground floor uses are required on 80% of building facade on all streets and open space frontages. Active uses include retail space, lobbies, entries, offices, living rooms, and kitchens of residential uses, common rooms and recreation spaces of institutional and public gathering uses, and other similarly active uses. These do not include storage areas, bathrooms, bedrooms, or other similarly less active or private uses.

# Center Crossroads



## Building Height, Massing & Articulation

Maximum Building Height		
Site Maximum	65'	<b>H</b>
On Grant Road and other Major Streets	45'	<b>I</b>
On non-Major Streets (general)	45'	<b>J</b>
On non-Major Streets (across from Residential Zones)	30'	
On non-Major Streets (across from Residential Zones and within 50' of Major Streets)	45'	
Abutting Residential Zones	25'	<b>K</b>
Abutting non-Residential Zones	65'	<b>L</b>

- In Fontana Center, Site Maximum (H) is 45'
- Maximum Building Height (I) on Oracle Road is 18'

Ground Floor Height	
Minimum clear ground floor ceiling height on public frontages for non-residential use	16' <b>Q</b>

- In Oracle Center, Oracle Road frontage has 20' stepback to maximum height

Minimum Upper Floor Stepbacks <sup>2</sup>		
for heights above maximum allowed on Grant Road and other Major Streets to Site Maximum	10'	<b>M</b>
for heights above maximum allowed on non-Major Streets to Site Maximum	30'	<b>N</b>
for heights above maximum allowed abutting Residential Zones:		<b>O</b>
Above 25' and up to 55' of building height	2' for every additional 1' of height <sup>3</sup>	
Above 55' to Site Maximum building height	1.5' for every additional 1' of height <sup>3</sup>	
for heights above maximum allowed abutting non-Residential Zones to Site Maximum	0'	<b>P</b>

<sup>2</sup> Alley widths may count toward stepback distances.  
<sup>3</sup> Base point for stepback measurement is minimum perimeter yard.



# Center Crossroads

## Permitted Land Uses

<b>Agricultural Use Group</b>	
General Farming	(6)
<b>Civic Use Group</b>	
Civic Assembly	
Cultural Use	
Educational Use	
Membership Organization	
Postal Service	
Protective Service	
Religious Use	
<b>Commercial Services Use Group</b>	
Administrative and Professional Office	
Alcoholic Beverage Service	
Animal Service	(9) (16)
Automotive - Service and Repair: Minor	
Automotive - Service and Repair: Major	
Building and Grounds Maintenance	
Communications	
Construction Service	
Day Care	
Entertainment	(13)
Financial Services	(18)
Food Services	(19) (20) (21)
Funeral Service	(22)
Medical Service-Extended Health Care	
Medical Service Outpatient	
Parking	
Personal Service	
Research and Product Development	(23)
Technical Service	
Trade Service and Repair, Major	(24)
Trade Service and Repair, Minor	
Travelers Accommodation, Lodging	
Artisan Residence	(25)
<b>Industrial Use Group</b>	
Craftwork	
General Manufacturing	
Motion Picture Industry	(13)
Perishable Goods Manufacturing	(26)
Precision Manufacturing	
<b>Recreation Use Group</b>	
Neighborhood Recreation	
Recreation	
<b>Residential Use Group</b>	
Family Dwelling	
Group Dwelling	
Residential Care Services	
<b>Retail Trade Use Group</b>	
Construction Material Sales	
Food and Beverage Sales	
General Merchandise Sales	Single use building footprint 30,000 s.f. max. (27)
Heavy Equipment Sales	(28)
Swap Meets and Auctions	Outdoor use area 15,000 s.f. max (29)
Vehicle Rental and Sales	(30)
<b>Storage Use Group</b>	
Personal Storage	(5) (31) (32)
<b>Utilities Use Group</b>	
Distribution System	(33)
Renewable Energy Generation	(34)
<b>Wholesale Use Group</b>	
Business Supply and Equip. Wholesale	Single use building footprint 30,000 s.f. max. (3)

**Notes:**

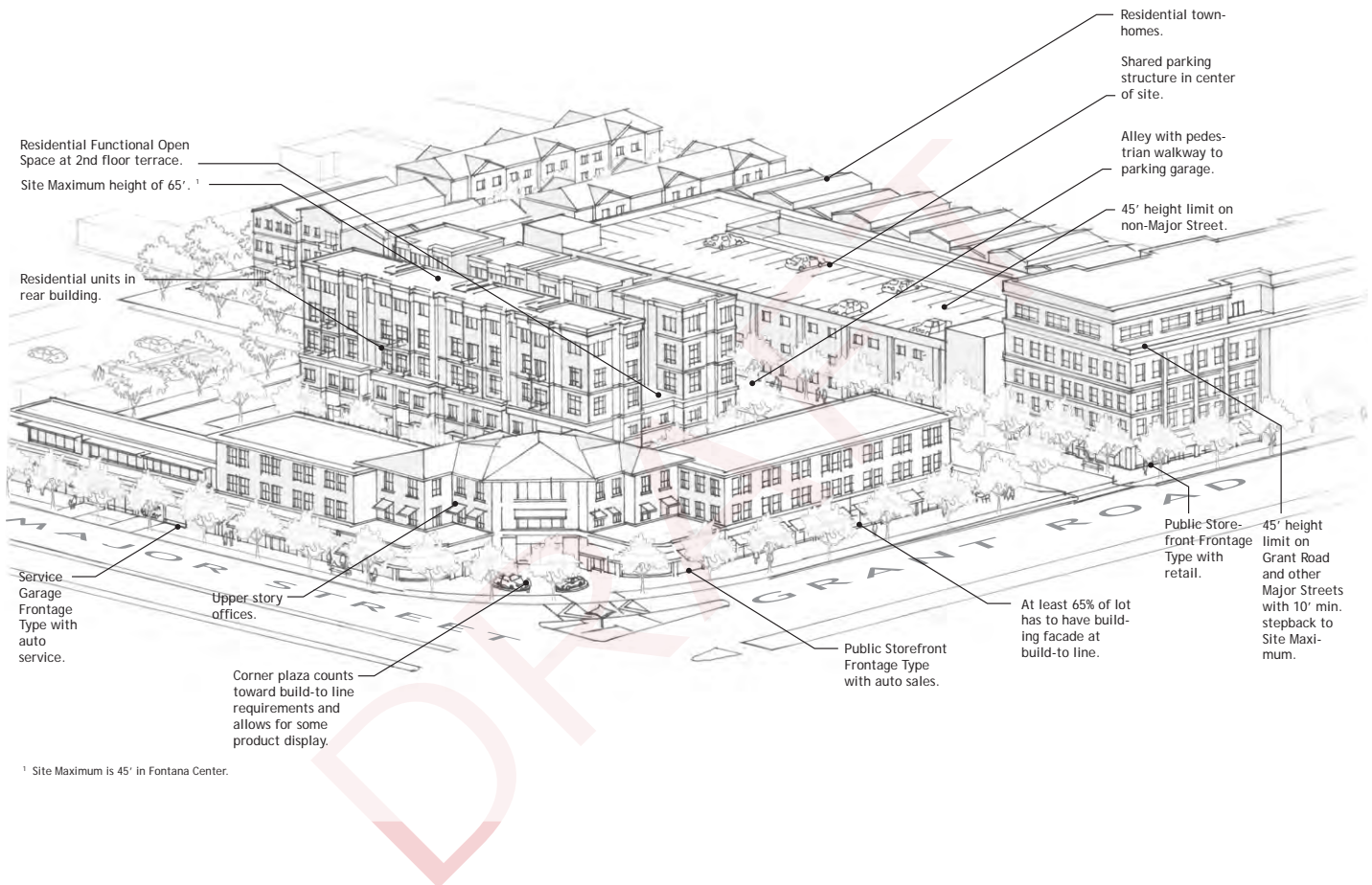
- 3 – Not allowed in Fontana Center.
- 6 – Allowed only when associated with residential use, restaurant, or community garden activity.
- 7 – Excluding vehicular fuel sales (i.e.; gas stations) in the Fontana Center, Campbell Center, Country Club Center, and Columbus Center.

- 9 – All activities must be within a completely enclosed building.
- 13 – Use shall not result in a noise measurement at an adjacent residentially zoned property equal to or higher than 55 dB A) from 7:00 a.m. to 10:00 p.m. or 50 dB(A) from 10 p.m. to 7:00 a.m.
- 16 - Overnight confinement for clinic treatment is permitted for a maximum of five (5) animals.
- 18 – Drive through aisles not allowed.

## Center Crossroads

### Illustrative View

*One possible scenario showing how new and modified existing development could meet the development standards of the Center Crossroads category*



<sup>1</sup> Site Maximum is 45' in Fontana Center.

#### Notes on Permitted Land Uses (Continued):

19 – Drive-in or drive-through restaurants or windows are not allowed.

20 – Section 3.5.4.6 of the LUC applies.

21 – Section 3.5.4.7.A of the LUC applies.

22 – Section 3.5.4.22 of the LUC applies.

23 – Section 3.5.4.14.A of the LUC applies.

24 – Section 3.5.4.15 of the LUC applies.

25 – The operation of the artisan residence shall not create noise, vibrations, smoke, fumes, dust, odors, vapors, other noxious emissions, or any other similar nuisances that are discernible beyond the boundaries of the structure enclosing the artisan residence.

26 – Sections 3.5.5.2.A and 3.5.5.2.B of the LUC apply.

27 – Section 3.5.9.2.A of the LUC applies.

28 – Section 3.5.9.3 of the LUC applies.

29 – Section 3.5.9.4 of the LUC applies.

30 – Sections 3.5.9.5.A and 3.5.9.5.B of the LUC apply.

31 – Section 3.5.10.3 of the LUC applies, except for 3.5.10.3.G.

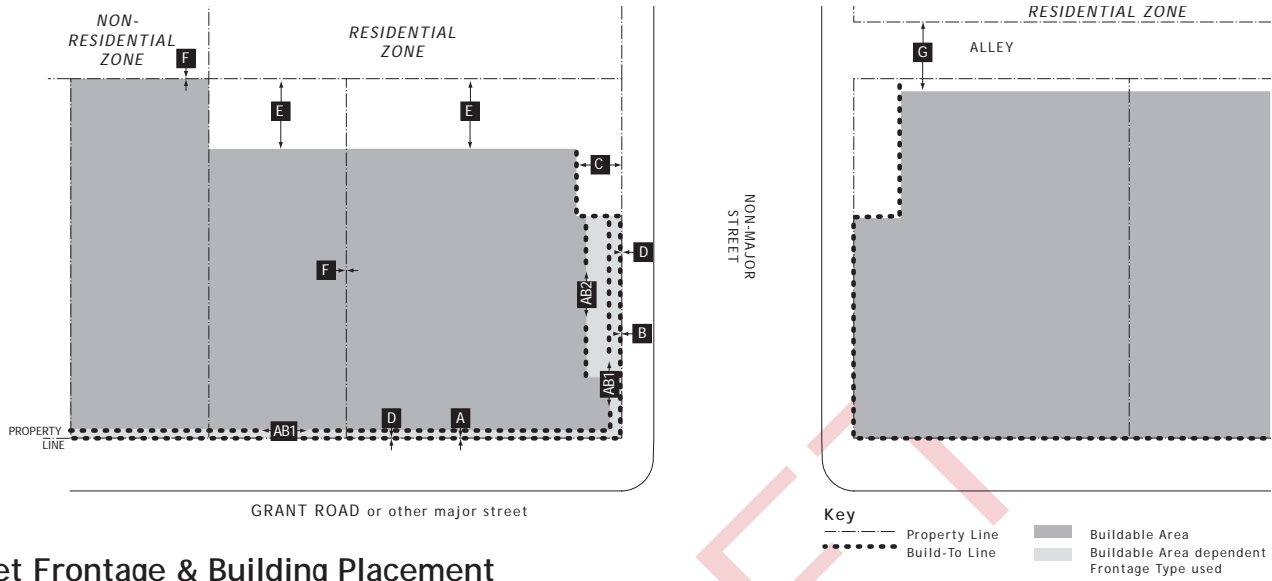
32 – Maximum storage area shall not be larger than 100 sq.ft. per dwelling unit and per 1,000 sq. ft. of business space.

33 – Sections 3.5.11.1. A, B, E, I, and K of the LUC apply.

34 – Section 3.5.11.2 of the LUC applies.



# Center Hub



## Street Frontage & Building Placement

Build-to Line		
Along Major Streets	0'	<b>A</b>
Along other streets	0'	<b>B</b>
EXCEPT for:		
Private Storefront Frontage Type	up to 2'	<b>AB1</b>
Porch Frontage Type	up to 10'	<b>AB2</b>
Along all streets within 50' of a Residential Zone	prevailing setback of Residential Zone	<b>C</b>

### Notes

- For individual lot frontages on Major Streets, at least 80% of the lot frontage must have building facade at the build-to line.
- For individual lot frontages on existing non-Major Streets, at least 65% of the lot frontage must have building facade at the build-to line.
- Individual lot frontages must have building facade at the build-to line within 50' of street intersections involving a Major Street.

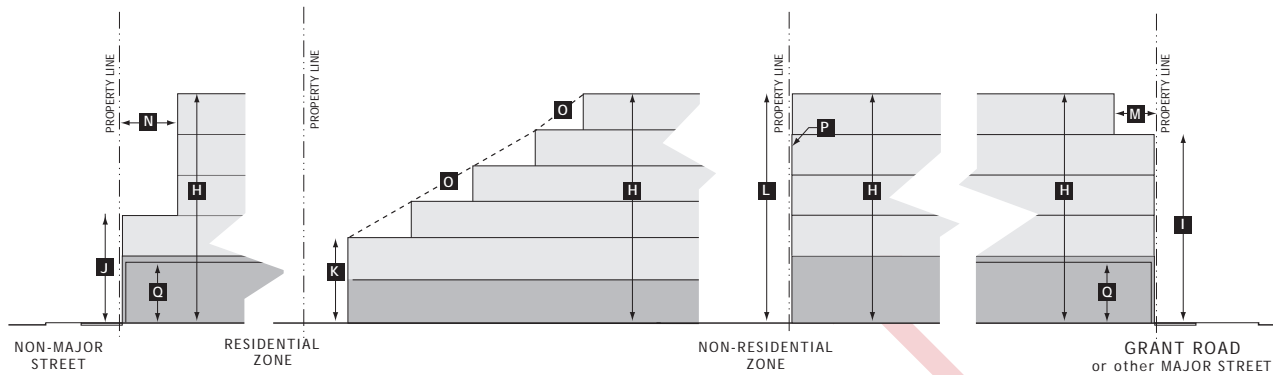
Perimeter Yard Minimums <sup>1</sup>		
Street Frontages	0'	<b>D</b>
Street frontages within 50' of a Residential Zone	prevailing setback of Residential Zone	<b>C</b>
On Lot Interior:		
abutting Residential Zone	22'	<b>E</b>
abutting non-Residential Zone	0'	<b>F</b>
lots abutting alley may count alley width toward perimeter yard requirement		<b>G</b>

<sup>1</sup> See Frontage Types in Section 5.5.7 for Perimeter Yard Maximums

Frontage Types	
Public Storefront	Allowed
Private Storefront	Allowed only on non-Major Streets except within 30' from their intersections with Major Streets
Arcade	Allowed
Porch	Allowed only on non-Major Streets except within 30' from their intersections with Major Streets
Public Yard	Allowed except within 30' of intersections of Grant Road and other Major Streets. Must be active: used for display, dining, or other active uses
Private Yard	Allowed only on non-Major Streets except within 30' from their intersections with Major Streets
Courtyard	Allowed
Parking Lot	Allowed except within 30' of intersections involving a Major Street
Park or Plaza	Allowed

### Notes

- See Frontage Types in Section 5.5.7 for standards for each Frontage Type.
- Vehicular drives prohibited along Major Streets within 30' of intersections.
- Frontage Types must also achieve build-to line requirements.
- Publicly accessible open spaces should be treated as non-Major Streets for the purposes of allowed Frontage Types.
- Active ground floor uses are required on 80% of building facade on all streets and open space frontages. Active uses include retail space, lobbies, entries, offices, living rooms, and kitchens of residential uses, common rooms and recreation spaces of institutional and public gathering uses, and other similarly active uses. These do not include storage areas, bathrooms, bedrooms, or other similarly less active or private uses.



**Building Height, Massing & Articulation**

**Maximum Building Height**

Site Maximum	65'	<b>H</b>
On Grant Road and other Major Streets	55'	<b>I</b>
On non-Major Streets (general)	45'	<b>J</b>
On non-Major Streets (across from Residential Zones)	30'	
On non-Major Streets (across from Residential Zones and within 50' of Major Streets)	45'	

Abutting Residential Zones	25'	<b>K</b>
Abutting non-Residential Zones	65'	<b>L</b>

- In Fontana, Tucson, and Country Club Centers, Site Max. is 45'

**Minimum Upper Floor Stepbacks <sup>2</sup>**

for heights above maximum allowed on Grant Road and other Major Streets to Site Maximum	10'	<b>M</b>
for heights above maximum allowed on non-Major Streets to Site Maximum	15'	<b>N</b>
for heights above maximum allowed abutting Residential Zones:		<b>O</b>
Above 25' and up to 55' of building height	2' for every additional 1' of height <sup>3</sup>	
Above 55' to Site Maximum building height	1.5' for every additional 1' of height <sup>3</sup>	
for heights above maximum allowed abutting non-Residential Zones to Site Maximum	0'	<b>P</b>

<sup>2</sup> Alley widths may count toward setback distances.  
<sup>3</sup> Base point for setback measurement is minimum perimeter yard.

**Ground Floor Height**

Minimum clear ground floor ceiling height on public frontages for non-residential use	16'	<b>Q</b>
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# Center Hub

## Permitted Land Uses

Agricultural Use Group	
General Farming	(6)
Civic Use Group	
Civic Assembly	
Cultural Use	
Educational Use	
Membership Organization	
Postal Service	
Protective Service	
Religious Use	
Commercial Services Use Group	
Administrative and Professional Office	
Alcoholic Beverage Service	
Animal Service	(8) (9)
Communications	(11)
Construction Service	(3)
Day Care	
Entertainment	(13)
Financial Services	(18)
Food Services	(19) (20) (21)
Medical Service Outpatient	
Medical Service - Extended Health Care	
Parking	
Personal Service	
Research and Product Development	(1,3) (23)
Technical Service	
Trade Service and Repair, Minor	
Travelers Accommodation, Lodging	
Artisan Residence	(25)

**Notes:**

- 1 – Not allowed in Country Club Center.
- 3 – Not allowed in Fontana Center.
- 5 – Not allowed except as a use associated with a business or residence on the same property.
- 6 – Allowed only when associated with residential use, restaurant, or community garden activity.
- 7 – No vehicular fuel sales (i.e.; gas stations) allowed in the Fontana Center, Campbell Center, Country Club Center, and Columbus Center.
- 8 – No boarding of animals permitted.
- 9 – All activities must be within a completely enclosed building.

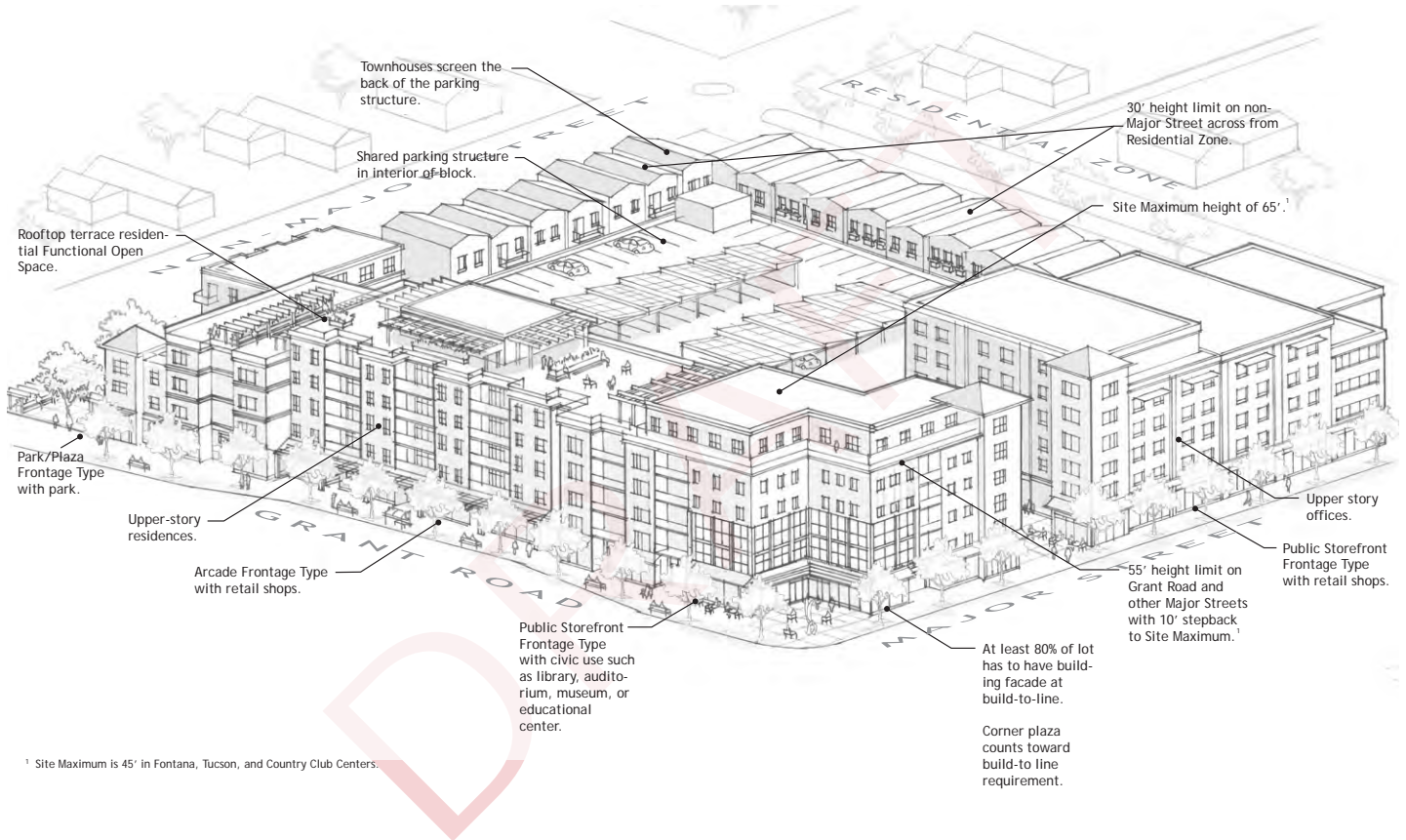
Industrial Use Group	
Craftwork	
Recreation Use Group	
Neighborhood Recreation	
Recreation	
Residential Use Group	
Family Dwelling	
Group Dwelling	
Residential Care Services	
Retail Trade Use Group	
Food and Beverage Sales	
General Merchandise Sales	Single use building footprint 30,000 s.f. max. (7) (27)
Swap Meets and Auctions	Outdoor use area 7,500 s.f. max. (29)
Storage Use Group	
Personal Storage	(5) (31) (32)
Utilities Use Group	
Distribution System	(33)
Renewable Energy Generation	(34)

- 11 – Allowed per Section 2.5.2.3 of the Tucson Land Use Code
- 13 – Use shall not result in a noise measurement at an adjacent residentially zoned property equal to or higher than 55 dB(A) from 7:00 a.m. to 10:00 p.m. or 50 dB(A) from 10 p.m. to 7:00 a.m.
- 18 – Drive through aisles not allowed.
- 19 – Drive-in or drive-through restaurants or windows are not allowed.
- 20 – Section 3.5.4.6 of the LUC applies.
- 21 – Section 3.5.4.7.A of the LUC applies.
- 23 – Section 3.5.4.14.A of the LUC applies.
- 25 – The operation of the artisan residence shall not create noise, vibrations, smoke, fumes, dust, odors, vapors, other noxious

**Center Hub**

**Illustrative View**

*One possible scenario showing how new and modified existing development could meet the development standards of the Center Hub category*



**Notes on Permitted Land Uses (Continued):**

emissions, or any other similar nuisances that are discernible beyond the boundaries of the structure enclosing the artisan residence.

27 – Section 3.5.9.2.A of the LUC applies.

29 – Section 3.5.9.4 of the LUC applies.

31 – Section 3.5.10.3 of the LUC applies, except for 3.5.10.3.G.

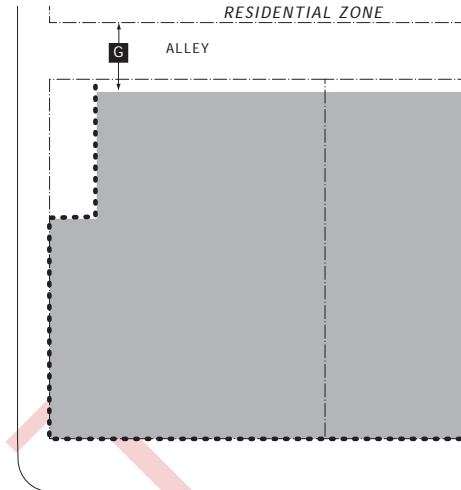
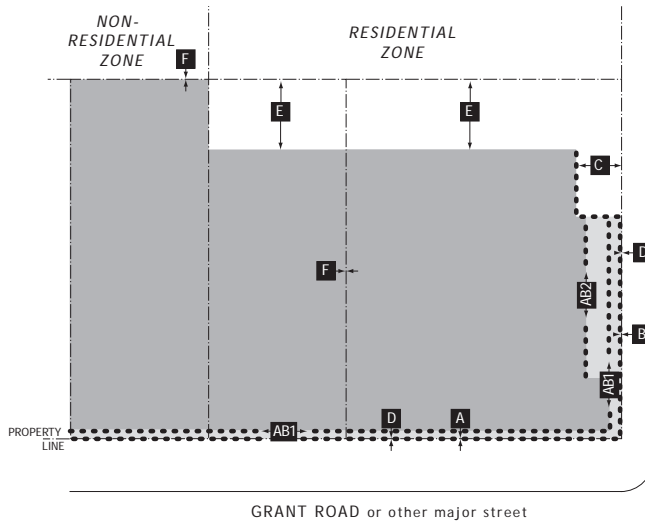
xv – Maximum storage area shall not be larger than 100 sq.ft. per dwelling unit and per 1,000 sq. ft. of business space.

33 – Sections 3.5.11.1. A, B, E, I, and K of the LUC apply.

34 – Section 3.5.11.2 of the LUC applies.



# Center Neighborhood



Key  
 - - - - - Property Line  
 - . . . . . Build-To Line  
 [Grey Box] Buildable Area  
 [Light Grey Box] Buildable Area dependent Frontage Type used

## Street Frontage & Building Placement

Build-to Line		
Along Major Streets	0'	<b>A</b>
Along other streets	0'	<b>B</b>
EXCEPT for:		
Private Storefront Frontage Type	up to 5'	<b>AB1</b>
Porch Frontage Type	up to 10'	<b>AB2</b>
Along all streets within 50' of a Residential Zone	prevailing setback of Residential Zone	<b>C</b>

### Notes

- For individual lot frontages on Major Streets, at least 60% of the lot frontage must have building facade at the build-to line.
- For individual lot frontages on non-Major Streets, at least 40% of the lot frontage must have building facade at the build-to line.
- Individual lot frontages must be built to the build-to line within 50' of street intersections involving a Major Street.

Perimeter Yard Minimums <sup>1</sup>		
Along Street Frontages	0'	<b>D</b>
Street frontages within 50' of a Residential Zone	prevailing setback of Residential Zone	<b>C</b>
On Lot Interior:		
abutting Residential Zone	22'	<b>E</b>
abutting non-Residential Zone	0'	<b>F</b>
lots abutting alley can count alley width toward perimeter yard requirement		<b>G</b>

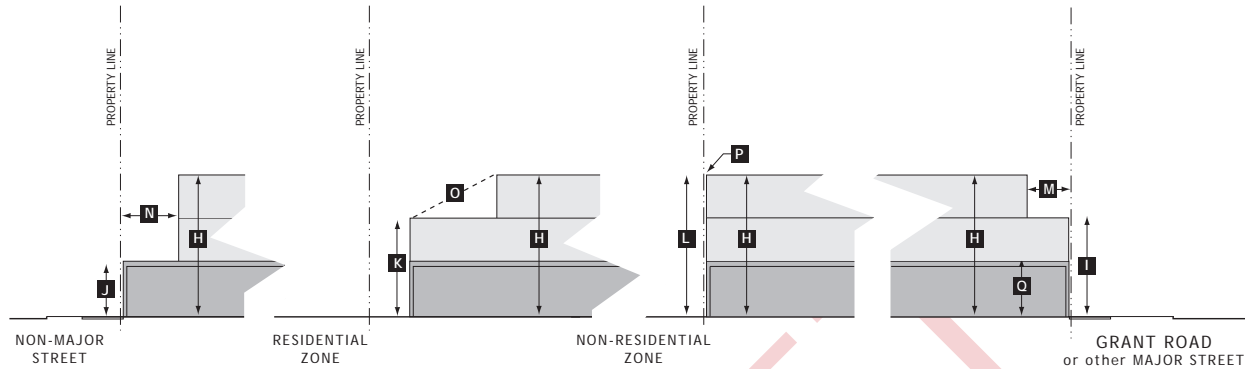
<sup>1</sup> See Frontage Types in Section 5.5.7 for Perimeter Yard Maximums

Frontage Types	
Public Storefront	Allowed
Arcade	Allowed
Porch	Allowed only on non-Major Streets except within 30' of their intersections with Major Streets
Public Yard	Allowed only for outdoor display and/or active uses such as dining
Private Yard	Allowed only on non-Major Streets except within 30' of their intersections with Major Streets
Courtyard	Allowed
Parking Lot	Allowed except within 30' of intersections involving Major Streets
Park or Plaza	Allowed

### Notes

- See Frontage Types in Section 5.5.7 for standards for each Frontage Type.
- Vehicular drives prohibited along Major Streets within 30' of intersections.
- Frontage Types must also achieve build-to line requirements.
- Publicly accessible open spaces should be treated as non-Major Streets for the purposes of allowed Frontage Types.
- Active ground floor uses are required on 80% of building facade on all streets and open space frontages. Active uses include retail space, lobbies, entries, offices, living rooms, and kitchens of residential uses, common rooms and recreation spaces of institutional and public gathering uses, and other similarly active uses. These do not include storage areas, bathrooms, bedrooms, or other similarly less active or private uses.

# Center Neighborhood



## Building Height, Massing & Articulation

### Maximum Building Height

Site Maximum	40'	<b>H</b>
On Grant Road and other Major Streets	30'	<b>I</b>
On non-Major Streets	20'	<b>J</b>
Abutting Residential Zones	25'	<b>K</b>
Abutting non-Residential Zones	40'	<b>L</b>

### Minimum Upper Floor Stepbacks <sup>2</sup>

for heights above maximum allowed on Grant Road and other Major Streets to Site Maximum	12'	<b>M</b>
for heights above maximum allowed on non-Major Streets to Site Maximum	12'	<b>N</b>
for heights above maximum allowed abutting Residential Zones: Above 25' to Site Maximum building height	2' for every additional 1' of height <sup>3</sup>	<b>O</b>
for heights above maximum allowed abutting non-Residential Zones to Site Maximum	0'	<b>P</b>

<sup>2</sup> Alley widths may count toward stepback distances.

<sup>3</sup> Base point for stepback measurement is minimum *perimeter yard*.

### Ground Floor Height

Minimum clear ground floor ceiling height on <i>public frontages</i> for non-residential use	12'	<b>Q</b>
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# Center Neighborhood

## Permitted Land Uses

Agricultural Use Group	
General Farming	(6)
Civic Use Group	
Civic Assembly	
Cultural Use	
Educational Use	
Membership Organization	
Postal Service	
Protective Service	
Religious Use	
Commercial Services Use Group	
Administrative and Professional Office	
Alcoholic Beverage Service	Single use building area 5,000 s.f. max.
Animal Service	(9) (10) (16)
Automotive - Service and Repair: Minor	(15)
Communications	(11)
Day Care	Single use building area 7,500 s.f. max.
Entertainment	(14)
Financial Services	(18)
Food Services	(19) (20) (21) Single use building area 10,000 s.f. max.
Medical Service-Extended Health Care	
Medical Service Outpatient	
Parking	50 spaces max. per lot
Personal Service	Single use building area 5,000 s.f. max.
Technical Service	Single use building area 5,000 s.f. max.
Trade Service and Repair, Minor	Single use building area 5,000 s.f. max.
Travelers Accommodation, Lodging	
Artisan Residence	(25)

Industrial Use Group	
Craftwork	
Recreation Use Group	
Neighborhood Recreation	
Recreation	Single use building area 20,000 s.f. max.
Residential Use Group	
Family Dwelling	
Group Dwelling	
Residential Care Services	
Retail Trade Use Group	
Food and Beverage Sales	Single use building area 12,500 s.f. max.
General Merchandise Sales	Single use building area 15,000 s.f. max. (7) (27)
Swap Meets and Auctions	Outdoor use area 7,500 s.f. max. (29)
Storage Use Group	
Personal Storage	(5) (31) (32)
Utilities Use Group	
Distribution System	(11) (33)
Renewable Energy Generation	(34)

**Notes:**

5 – Not allowed except as a use associated with a business or residence on the same property.

6 – Allowed only when associated with residential use, restaurant, or community garden activity.

7 – Excluding vehicular fuel sales (i.e.; gas stations) in the Fontana Center, Campbell Center, Country Club Center, and Columbus Center.

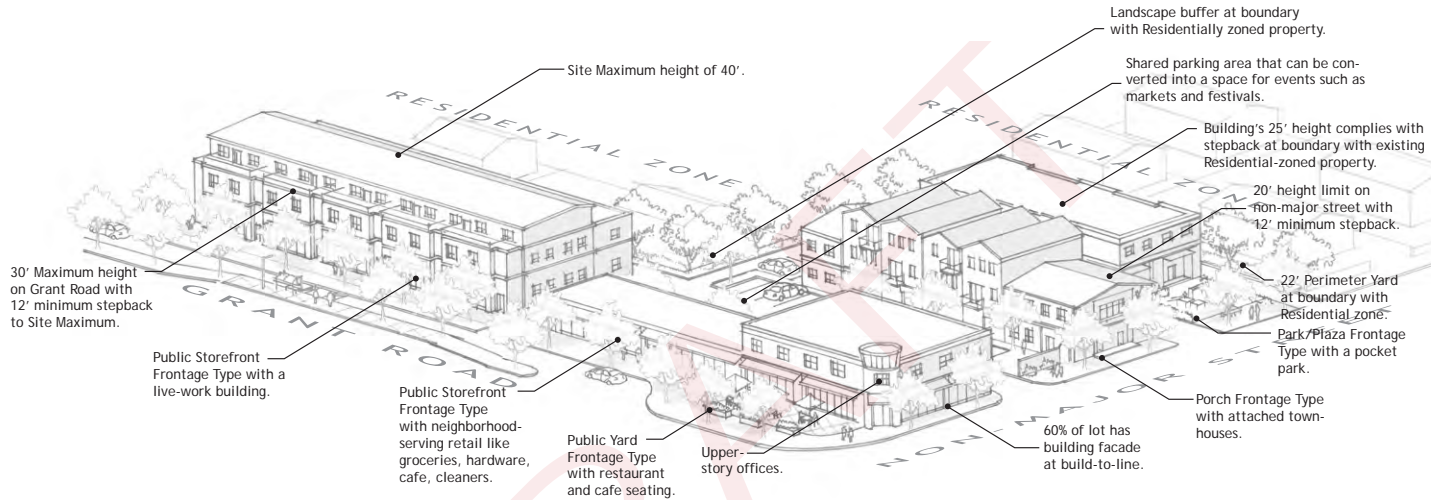
9 – All activities must be within a completely enclosed building.

10 – Pet grooming and veterinary clinics permitted.

## Center Neighborhood

### Illustrative View

One possible scenario showing how new and modified existing development could meet the development standards of the Center Neighborhood category



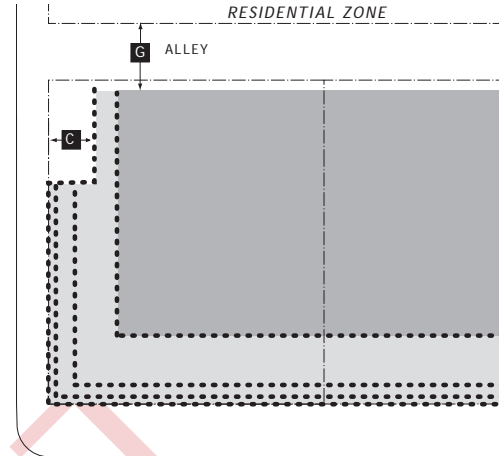
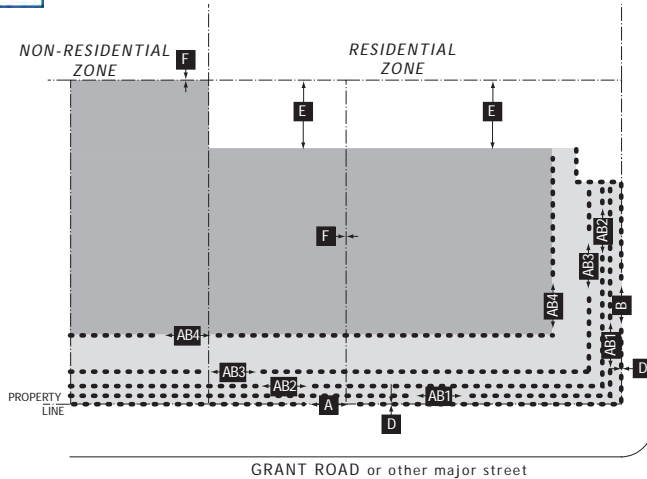
**Notes on Permitted Land Uses (Continued):**

- 11 – Allowed per Section 2.5.2.3 of the Tucson Land Use Code
- 14 – Allowed as an associated use within a restaurant or café fully within a building and use shall not result in a noise measurement at an adjacent residentially zoned property equal to or higher than 50 dB (A) from 7:00 a.m. to 10:00 p.m. or 40 dB(A) from 10 p.m. to 7:00 a.m.
- 15 - No car washing.
- 16 - Overnight confinement for clinic treatment is permitted for a maximum of five (5) animals.
- 18 – Drive through aisles not allowed.
- 19 – Drive-in or drive-through restaurants or windows are not allowed.
- 20 – Section 3.5.4.6 of the LUC applies.
- 21 – Section 3.5.4.7.A of the LUC applies.
- 25 – The operation of the artisan residence shall not create noise, vibrations, smoke, fumes, dust, odors, vapors, other noxious emissions, or any other similar nuisances that are discernible

- beyond the boundaries of the structure enclosing the artisan residence.
- 27 – Section 3.5.9.2.A of the LUC applies.
- 29 – Section 3.5.9.4 of the LUC applies.
- 31 – Section 3.5.10.3 of the LUC applies, except for 3.5.10.3.G.
- 32 – Maximum storage area shall not be larger than 100 sq.ft. per dwelling unit and per 1,000 sq. ft. of business space.
- 33 – Sections 3.5.11.1. A, B, E, I, and K of the LUC apply.
- 34 – Section 3.5.11.2 of the LUC applies.



# Center General



## Street Frontage & Building Placement

Build-to Line		
Along Major Streets	0'	<b>A</b>
Along other streets	0'	<b>B</b>
EXCEPT for:		
Public Storefront Frontage Type	up to 2'	<b>AB1</b>
Private Storefront Frontage Type	up to 5'	<b>AB2</b>
Porch Frontage Type	up to 15'	<b>AB3</b>
Public Yard Frontage Type	up to 25'	<b>AB4</b>
Along all streets within 50' of a Residential Zone	prevailing setback of Residential Zone	<b>C</b>

### Notes

- For individual lot frontages on Major Streets, at least 50% of the lot frontage must have *building facade* at the *build-to line*.
- For individual lot frontages on non-Major Streets, at least 35% of the lot frontage must have *building facade* at the *build-to line*.
- Individual lot frontages must have *building facade* at the *build-to line* within 30' of intersections involving a Major Street.
- The Shared Motorcourt Frontage Type is an exception to the **Build-To Line** standards; For Shared Motorcourts only 40% of the lot frontage must have *building facade* at the *build-to line*.

Perimeter Yard Minimums <sup>1</sup>		
Along Street Frontages	0'	<b>D</b>
Street frontages within 50' of a Residential Zone	prevailing setback of Residential Zone	<b>C</b>
On Lot Interior:		
abutting Residential Zone	22'	
abutting non-Residential Zone	0'	<b>E</b>
lots abutting alley can count alley width toward perimeter yard requirement		<b>F</b>
		<b>G</b>

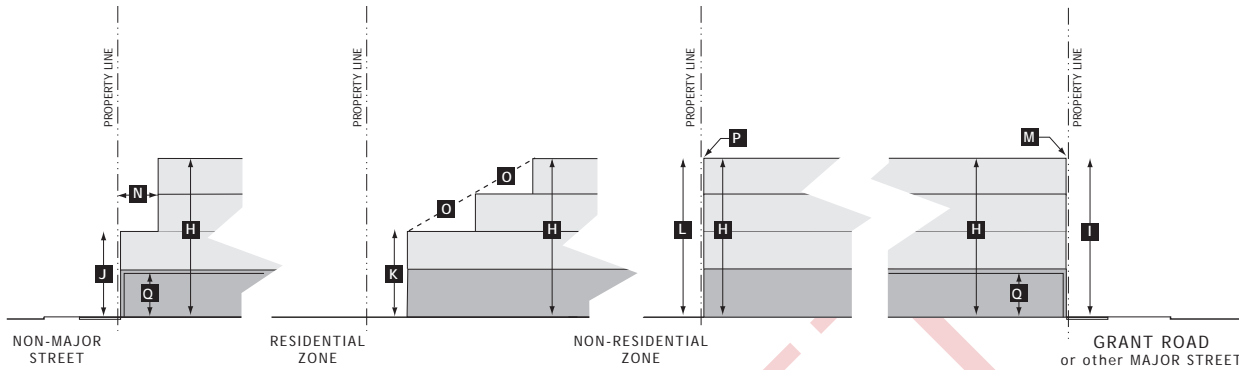
<sup>1</sup> See Frontage Types in Section 5.5.7 for Perimeter Yard Maximums

Frontage Types	
Public Storefront	Allowed
Private Storefront	Allowed except within 30' of intersections of Grant Road and other Major Streets
Arcade	Allowed
Porch	Allowed except within 30' from intersections involving a Major Street
Public Yard	Allowed
Private Yard	Allowed except within 30' of an intersection involving a Major Street
Shared Motorcourt	Allowed
Courtyard	Allowed
Parking Lot	Allowed
Park or Plaza	Allowed

### Notes

- See Frontage Types in Section 5.5.7 for standards for each Frontage Type.
- Vehicular drives prohibited along Major Streets within 30' of intersections.
- Use of Frontage Types must also achieve *build-to line* requirements, however some Frontage Types adjust the location of the required *build-to line*; see *Build-to Line* section.
- Publicly accessible open spaces should be treated as non-Major Streets for the purposes of allowed Frontage Types.
- Active ground floor uses are required on 80% of building facade on all streets and open space frontages. Active uses include retail space, lobbies, entries, offices, living rooms, and kitchens of residential uses, common rooms and recreation spaces of institutional and public gathering uses, and other similarly active uses. These do not include storage areas, bathrooms, bedrooms, or other similarly less active or private uses.

**Center General**



**Building Height, Massing & Articulation**

**Maximum Building Height**

Site Maximum	50'	<b>H</b>
On Grant Road and other Major Streets	50'	<b>I</b>
On non-Major Streets	25'	<b>J</b>
Abutting Residential Zones	25'	<b>K</b>
Abutting non-Residential Zones	50'	<b>L</b>

- In Tucson and Country Club Centers, Site Max. (H) is 45'

**Minimum Upper Floor Stepbacks <sup>2</sup>**

for heights above maximum allowed on Grant Road and other Major Streets to Site Maximum	0'	<b>M</b>
for heights above maximum allowed on non-Major Streets to Site Maximum	12'	<b>N</b>
for heights above maximum allowed abutting Residential Zones: Above 25' to Site Maximum building height	2' for every additional 1' of height <sup>3</sup>	<b>O</b>
for heights above maximum allowed abutting non-Residential Zones to Site Maximum	0'	<b>P</b>

<sup>2</sup> Alley widths may count toward stepback distances.

<sup>3</sup> Base point for stepback measurement is minimum *perimeter yard*.

**Ground Floor Height**

Minimum clear ground floor ceiling height on <i>public frontages</i> for non-residential use	12'	<b>Q</b>
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# Center General

## Permitted Land Uses

<b>Agricultural Use Group</b>	
Crop Production	(6)
General Farming	(6)
<b>Civic Use Group</b>	
Civic Assembly	
Cultural Use	
Educational Use	
Membership Organization	
Postal Service	
Protective Service	
Religious Use	
<b>Commercial Services Use Group</b>	
Administrative and Professional Office	
Alcoholic Beverage Service	Single use building area 5,000 s.f. max.
Animal Service	(8) (9)
Automotive - Service and Repair: Minor	(1) (2)
Building and Grounds Maintenance	(1) (2)
Communications	
Construction Services	(12)
Day Care	
Financial Services	(18)
Food Services	(19) (20) (21)
Funeral Service	(22)
Medical Service-Extended Health Care	
Medical Service Major	
Medical Service Outpatient	
Parking	
Personal Service	
Technical Service	

**Notes:**

- 1 – Not allowed in Country Club Center.
- 2 – Not allowed in Columbus Center.
- 4 – With associated restaurant and/or retail facility.
- 5 – Not allowed except as a use associated with a business or residence on the same property.
- 6 – Allowed only when associated with residential use, restaurant, or community garden activity.
- 7 – Excluding vehicular fuel sales (i.e.; gas stations) in the Fontana Center, Campbell Center, Country Club Center, and Columbus

<b>Commercial Services Use Group (cont.)</b>	
Trade Service and Repair, Minor	
Travelers Accommodation, Lodging	
Artisan Residence	(25)

<b>Industrial Use Group</b>	
Craftwork	
Perishable Goods Manufacturing	(4) (26)

<b>Recreation Use Group</b>	
Neighborhood Recreation	
Recreation	Single use building area 10,000 s.f. max.

<b>Residential Use Group</b>	
Family Dwelling	
Group Dwelling	
Residential Care Services	

<b>Retail Trade Use Group</b>	
Construction Material Sales	
Food and Beverage Sales	
General Merchandise Sales	Single use building footprint 30,000 s.f. max. (7) (27)
Swap Meets and Auctions	Outdoor use area 15,000 s.f. max. (29)

<b>Storage Use Group</b>	
Personal Storage	(5) (31) (32)

<b>Utilities Use Group</b>	
Distribution System	(33)
Renewable Energy Generation	(34)

<b>Wholesale Use Group</b>	
Business Supply and Equip. Wholesaling	(1) (2)

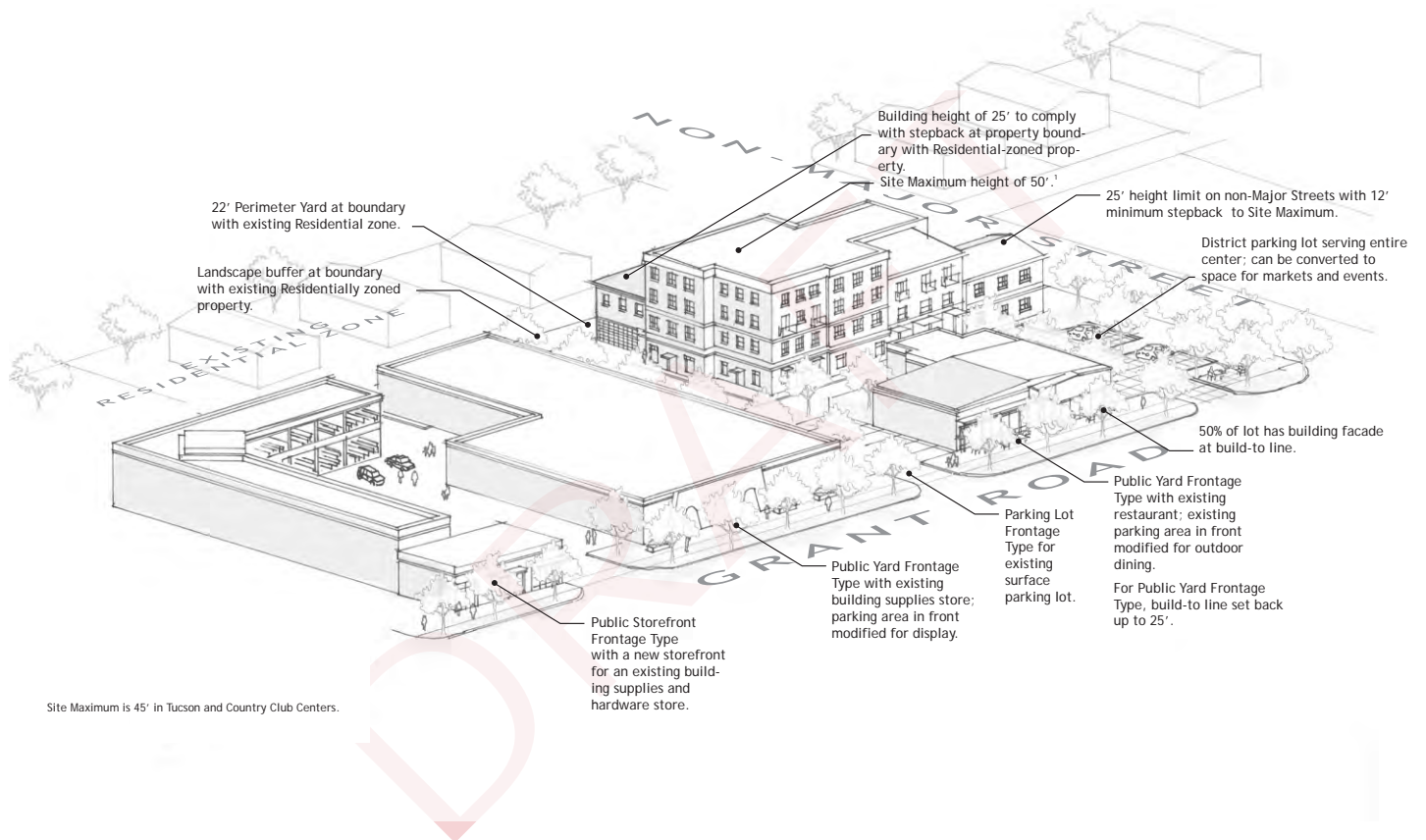
Center.

- 8 – No boarding of animals permitted.
- 9 – All activities must be within a completely enclosed building.
- 12 – Allowed only in Oracle and Stone Centers.
- 18 – Drive through aisles not allowed.
- 19 – Drive-in or drive-through restaurants or windows are not allowed.
- 20 – Section 3.5.4.6 of the LUC applies.

**Center General**

**Illustrative View**

*One possible scenario showing how new and modified existing development could meet the development standards of the Center General category*



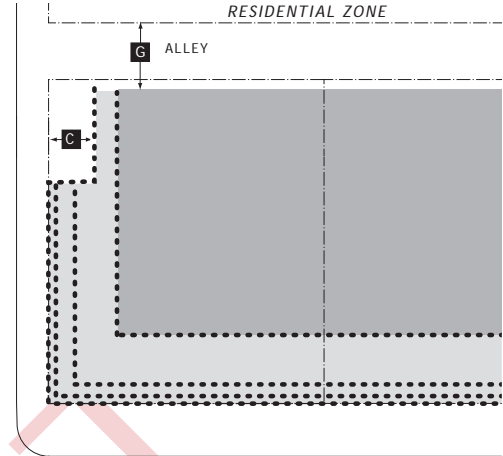
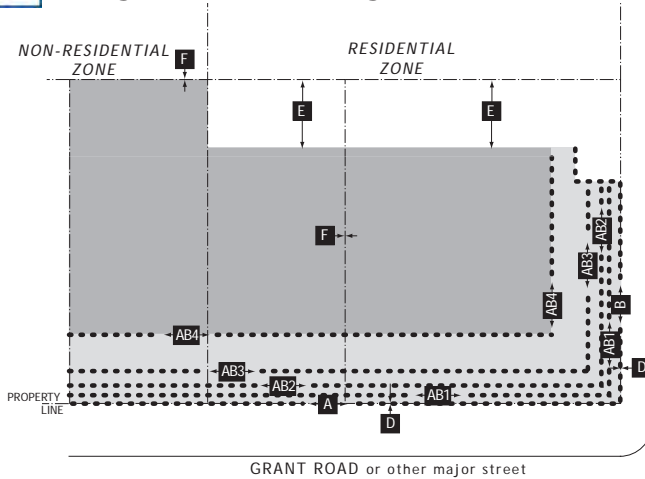
Site Maximum is 45' in Tucson and Country Club Centers.

**Notes on Permitted Land Uses (Continued):**

- 21 – Section 3.5.4.7.A of the LUC applies.
- 22 – Section 3.5.4.22 of the LUC applies.
- 25 – The operation of the artisan residence shall not create noise, vibrations, smoke, fumes, dust, odors, vapors, other noxious emissions, or any other similar nuisances that are discernible beyond the boundaries of the structure enclosing the artisan residence.
- 26 – Sections 3.5.5.2.A and 3.5.5.2.B of the LUC apply.
- 27 – Section 3.5.9.2.A of the LUC applies.
- 29 – Section 3.5.9.4 of the LUC applies.
- 31 – Section 3.5.10.3 of the LUC applies, except for 3.5.10.3.G.
- 32 – Maximum storage area shall not be larger than 100 sq.ft. per dwelling unit and per 1,000 sq. ft. of business space.
- 33 – Sections 3.5.11.1. A, B, E, I, and K of the LUC apply.
- 34 – Section 3.5.11.2 of the LUC applies.



# Segment West & Segment East



**Key**  
 - - - - - Property Line  
 ..... Build-To Line  
 ■ Buildable Area  
 ■ Buildable Area dependent on Frontage Type used

## Street Frontage & Building Placement

Build-to Line		
Along Major Streets	0'	<b>A</b>
Along other streets	0'	<b>B</b>
EXCEPT for:		
Public Storefront Frontage Type	up to 2'	<b>AB1</b>
Private Storefront Frontage Type	up to 5'	<b>AB2</b>
Porch Frontage Type	up to 15'	<b>AB3</b>
Public Yard Frontage Type	up to 25'	<b>AB4</b>
Along all streets within 50' of a Residential Zone	prevailing setback of Residential Zone	<b>C</b>

### Notes

- For individual lot frontages on Major Streets, at least 50% of the lot frontage must have building facade at the build-to line.
- For individual lot frontages on non-Major Streets, at least 30% of the lot frontage must have building facade at the build-to line.
- Individual lot frontages must have building facade at the build-to line within 30' of intersections involving a Major Street.
- The Shared Motorcourt Frontage Type is an exception to the above standards; For Shared Motorcourts only 40% of the lot frontage must have building facade at the build-to line.

Perimeter Yard Minimums <sup>1</sup>		
Along Street Frontages	0'	<b>D</b>
Street frontages within 50' of a Residential Zone	prevailing setback of Residential Zone	<b>C</b>
On Lot Interior:		
abutting Residential zone	22'	<b>E</b>
abutting non-Residential zone	0'	<b>F</b>
lots abutting alley may put alley width toward perimeter yard requirement		<b>G</b>

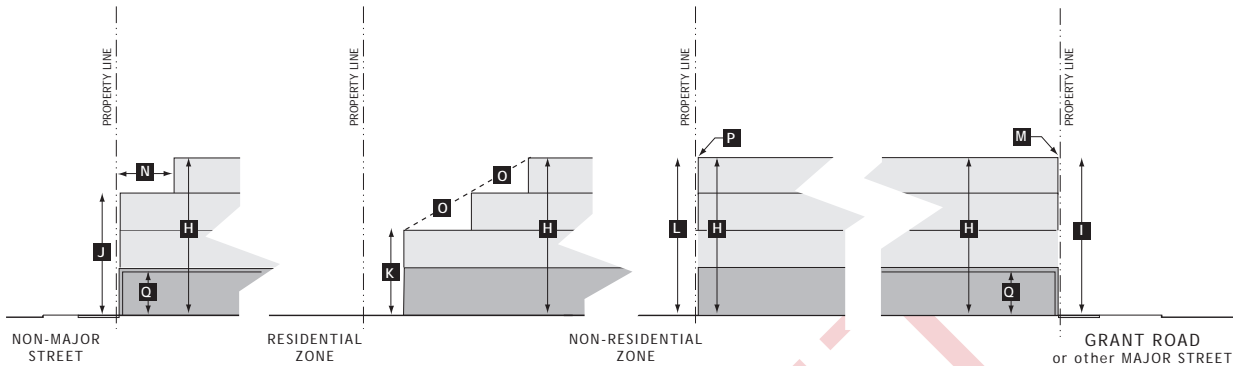
<sup>1</sup> See Frontage Types in Section 5.5.7 for Perimeter Yard Maximums

Frontage Types	
Public Storefront	Allowed
Private Storefront	Allowed
Arcade	Allowed
Porch	Allowed
Public Yard	Allowed
Private Yard	Allowed
Courtyard	Allowed
Shared Motorcourt	Allowed
Service	Allowed only in Segment West
Parking Lot	Allowed
Park or Plaza	Allowed

### Notes

- See Frontage Types in Section 5.5.7 for standards for each Frontage Type.
- Vehicular drives prohibited along Major Streets within 30' of intersections.
- Use of Frontage Types must also achieve build-to line requirements, however some Frontage Types adjust the location of the required build-to line; see Build-to Line section.
- Active ground floor uses are required on 80% of building facade on all streets and open space frontages. Active uses include retail space, lobbies, entries, offices, living rooms, and kitchens of residential uses, common rooms and recreation spaces of institutional and public gathering uses, and other similarly active uses. These do not include storage areas, bathrooms, bedrooms, or other similarly less active or private uses.
- Publicly accessible open spaces should be treated as non-Major Streets for the purposes of allowed Frontage Types.

## Segment West & Segment East



### Building Height, Massing & Articulation

#### Maximum Building Height

Site Maximum	50'	<b>H</b>
On Grant Road and other Major Street	50'	<b>I</b>
On non-Major Streets in Segment West	40'	<b>J</b>
On non-Major Streets in Segment East	20'	
Abutting Residential Zones	25'	<b>K</b>
Abutting non-Residential Zones	50'	<b>L</b>

#### Minimum Upper Floor Stepbacks <sup>2</sup>

for heights above maximum allowed on Grant Road and other Major Streets to Site Maximum	0'	<b>M</b>
for heights above maximum allowed on non-Major Streets to Site Maximum	12'	<b>N</b>
for heights above maximum allowed abutting Residential Zones: Above 25' to Site Maximum building height	2' for every additional 1' of height <sup>3</sup>	<b>O</b>
for heights above maximum allowed abutting non-Residential Zones to Site Maximum	0'	<b>P</b>

<sup>2</sup> Alley widths may count toward stepback distances.

<sup>3</sup> Base point for stepback measurement is minimum *perimeter yard*.

#### Ground Floor Height

Minimum clear ground floor ceiling height on <i>public frontages</i> for non-residential use	12'	<b>Q</b>
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# Segment West & Segment East

## Permitted Land Uses

<b>Agricultural Use Group</b>	
Crop Production	(6)
General Farming	(6)
<b>Civic Use Group</b>	
Civic Assembly	
Cultural Use	
Educational Use	
Membership Organization	
Postal Service	
Protective Service	
Religious Use	
<b>Commercial Services Use Group</b>	
Administrative and Professional Office	
Alcoholic Beverage Service	
Animal Service	(9) (16)
Automotive - Service and Repair: Minor	
Automotive - Service and Repair: Major	
Building and Grounds Maintenance	
Communications	
Construction Services	
Day Care	
Food Services	(19) (20) (21)
Entertainment-Segment East Only	(13)
Financial Services-Segment East Only	(18)
Funeral Service	(22)
Medical Service - Extended Health Care	
Medical Service Major	
Medical Service Outpatient	
Parking	
Personal Service	
Research and Product Development	(23)
Technical Service	
Trade Service and Repair Major-Segment West Only	(24)
Trade Service and Repair Minor	
Travelers Accommodation, Lodging	

<b>Industrial Use Group</b>	
Craftwork	
General Manufacturing-Segment West Only	
Motion Picture Industry	(13)
Perishable Goods Manufacturing-Segment West Only	(26)
Precision Manufacturing	

<b>Recreation Use Group</b>	
Neighborhood Recreation	
Recreation	

<b>Residential Use Group</b>	
Family Dwelling	
Group Dwelling	
Residential Care Services	

<b>Retail Trade Use Group</b>	
Construction Material Sales	
Food and Beverage Sales	
General Merchandise Sales	Single use building footprint 25,000 s.f. max. (27)
Heavy Equipment Sales	(28)
Swap Meets and Auctions	Outdoor use area 15,000 s.f. max. (29)
Vehicle Rental and Sales	(30)

<b>Storage Use Group</b>	
Personal Storage	(5) (31) (32)

<b>Utilities Use Group</b>	
Distribution System	(33)
Renewable Energy Generation	(34)

<b>Wholesale Use Group</b>	
Business Supply and Equip. Wholesaling	

## Segment West & Segment East

### Notes on Permitted Land Uses:

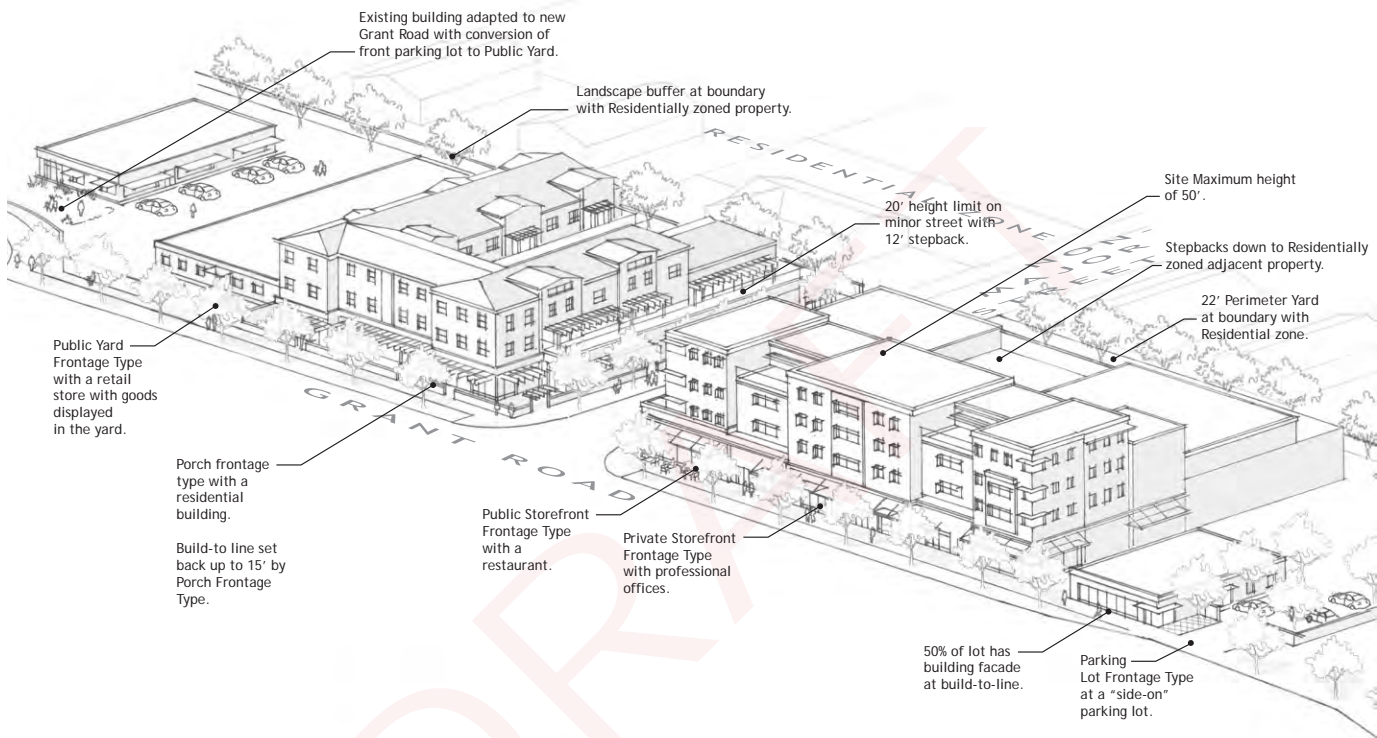
- 5 – Not allowed except as a use associated with a business or residence on the same property.
- 6 – Allowed only when associated with residential use, restaurant, or community garden activity.
- 9 – All activities must be within a completely enclosed building.
- 13 – Use shall not result in a noise measurement at an adjacent residentially zoned property equal to or higher than 55 dB(A) from 7:00 a.m. to 10:00 p.m. or 50 dB(A) from 10 p.m. to 7:00 a.m.
- 16 – Overnight confinement for clinic treatment is permitted for a maximum of five (5) animals.
- 18 – Drive through aisles not allowed.
- 19 – Drive-in or drive-through restaurants or windows are not allowed.
- 20 – Section 3.5.4.6 of the LUC applies.
- 21 – Section 3.5.4.7.A of the LUC applies.
- 22 – Section 3.5.4.22 of the LUC applies.
- 23 – Section 3.5.4.14.A of the LUC applies.
- 24 – Section 3.5.4.15 of the LUC applies.
- 25 – The operation of the artisan residence shall not create noise, vibrations, smoke, fumes, dust, odors, vapors, other noxious emissions, or any other similar nuisances that are discernible beyond the boundaries of the structure enclosing the artisan residence.
- 26 – Sections 3.5.5.2.A and 3.5.5.2.B of the LUC apply.
- 27 – Section 3.5.9.2.A of the LUC applies.
- 28 – Section 3.5.9.3 of the LUC applies.
- 29 – Section 3.5.9.4 of the LUC applies.
- 30 – Sections 3.5.9.5.A and 3.5.9.5.B of the LUC apply.
- 31 – Section 3.5.10.3 of the LUC applies, except for 3.5.10.3.G.
- 32 – Maximum storage area shall not be larger than 100 sq.ft. per dwelling unit and per 1,000 sq. ft. of business space.
- 33 – Sections 3.5.11.1. A, B, E, I, and K of the LUC apply.
- 34 – Section 3.5.11.2 of the LUC applies.



# Segment West & Segment East

## Illustrative View

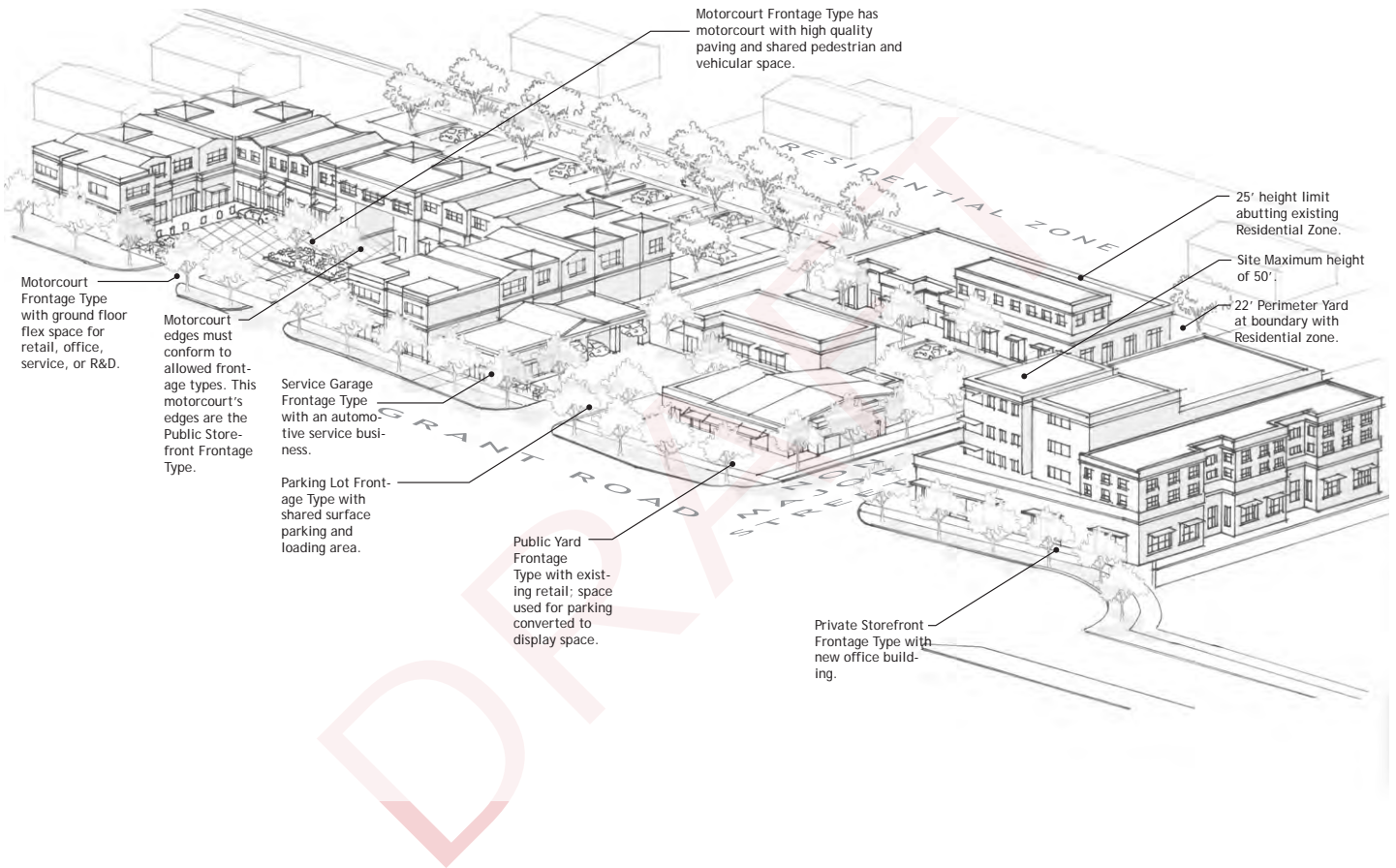
*One possible scenario showing how new and modified existing development could meet the development standards of the Segment East category*



## Segment West & Segment East

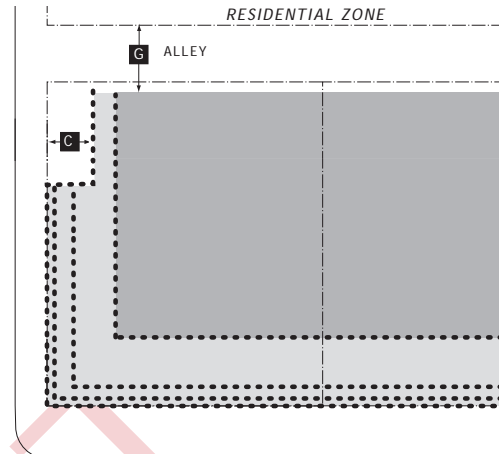
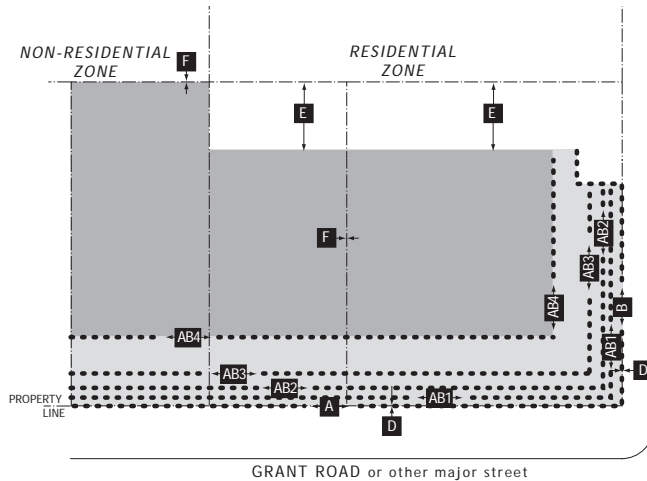
### Illustrative View

*One possible scenario showing how new and modified existing development could meet the development standards of the Segment West category*





# Segment Central



Key  
 - - - - - Property Line  
 - - - - - Build-To Line  
 ■ Buildable Area  
 ■ Buildable Area dependent on Frontage Type used

## Street Frontage & Building Placement

Build-to Line		
Along Major Streets	0'	<b>A</b>
Along other streets	0'	<b>B</b>
EXCEPT for:		
Public Storefront Frontage Type	up to 2'	<b>AB1</b>
Private Storefront Frontage Type	up to 5'	<b>AB2</b>
Porch Frontage Type	up to 15'	<b>AB3</b>
Public Yard Frontage Type	up to 25'	<b>AB4</b>
Along all streets within 50' of a Residential Zone	prevailing setback of Residential Zone	<b>C</b>

### Notes

- For individual lot frontages on Major Streets, at least 50% of the lot frontage must have *building facade* at the *build-to line*.
- For individual lot frontages on non-Major Streets, at least 30% of the lot frontage must have *building facade* at the *build-to line*.
- Individual lot frontages must have *building facade* at the *build-to line* within 30' of street intersections involving a Major Street.

Perimeter Yard Minimums <sup>1</sup>		
Along Street Frontages	0'	<b>D</b>
Street frontages within 50' of a Residential Zone	prevailing setback of residential zone	<b>C</b>
On Lot Interior:		
abutting residential zone	20'	<b>E</b>
abutting non-residential zone	0'	<b>F</b>
lots abutting alley may use alley width toward perimeter yard requirement		<b>G</b>

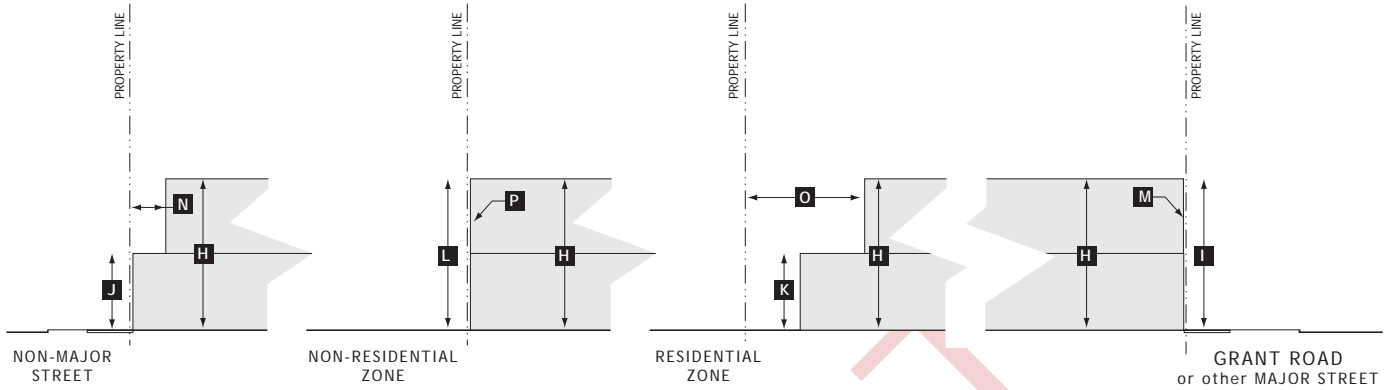
<sup>1</sup> See Frontage Types in Section 5.5.7 for Perimeter Yard Maximums

Frontage Types	
<b>Public Storefront</b>	Allowed only on parcels adjacent to intersections of Grant Road and Major Streets
<b>Private Storefront</b>	Allowed
<b>Porch</b>	Allowed
<b>Public Yard</b>	Allowed
<b>Private Yard</b>	Allowed
<b>Courtyard</b>	Allowed
<b>Parking Lot</b>	Allowed but only for 80 linear feet of frontage at a time and cannot be within 30' of an intersection involving a Major Street
<b>Park or Plaza</b>	Allowed

### Notes

- See Frontage Types in Section 5.5.7 for standards for each Frontage Type.
- Vehicular drives prohibited along Major Streets within 30' of intersections.
- Use of Frontage Types must also achieve *build-to line* requirements, however some Frontage Types adjust the location of the required *build-to line*; see *Build-to Line* section.
- Publicly accessible open spaces should be treated as non-Major Streets for the purposes of allowed Frontage Types.
- Active ground floor uses are required on 80% of *building facade* on all streets and open space frontages. Active uses include retail space, lobbies, entries, offices, living rooms, and kitchens of residential uses, common rooms and recreation spaces of institutional and public gathering uses, and other similarly active uses. These do not include storage areas, bathrooms, bedrooms, or other similarly less active or private uses.

# Segment Central



## Building Height, Massing & Articulation

### Maximum Building Height

Site Maximum	30'	<b>H</b>
On Grant Road and other Major Street	30'	<b>I</b>
On non-Major Streets	16'	<b>J</b>
Abutting Residential Zones	16'	<b>K</b>
Abutting non-Residential Zones	30'	<b>L</b>

### Minimum Upper Floor Stepbacks<sup>2</sup>

for heights above maximum allowed on Grant Road and other Major Streets to Site Maximum	0'	<b>M</b>
for heights above maximum allowed on non-Major Streets to Site Maximum	5'	<b>N</b>
for heights above maximum allowed abutting Residential Zones to Site Maximum	30'	<b>O</b>
for heights above maximum allowed abutting non-Residential Zones to Site Maximum	0'	<b>P</b>

<sup>2</sup>Alley widths may count toward stepback distances.



# Segment Central

## Permitted Land Uses

### Agricultural Use Group

General Farming (6) Outdoor use area 5,000 s.f. max.

### Civic Use Group

Civic Assembly Single use building area 5,000 s.f. max.

Cultural Use Single use building area 5,000 s.f. max.

Educational Use Single use building area 10,000 s.f. max.

Membership Organization Single use building area 5,000 s.f. max.

Postal Service

Protective Service

Religious Use Single use building area 5,000 s.f.

### Commercial Services Use Group

Administrative and Professional Office

Day Care Single use building area 3,000 s.f.

Food Services Single use building area 2,500 s.f. (19) (20) (21)

Medical Service-Extended Health Care

Medical Service Outpatient Single use building area 10,000 s.f.

Parking Limit use to 30 spaces max. for an individual lot

Personal Service Limit use to 2,500 s.f.

Artisan Residence (25)

### Recreation Use Group

Neighborhood Recreation

### Residential Use Group

Family Dwelling

Residential Care Services Maximum 15 residents

### Retail Use Group

Food and Beverage Single use building area 2,500 s.f. max.

### Storage Use Group

Personal Storage Single use building area 2,500 s.f. (5) (31) (32)

### Utilities Use Group

Renewable Energy Generation (34)

#### Notes:

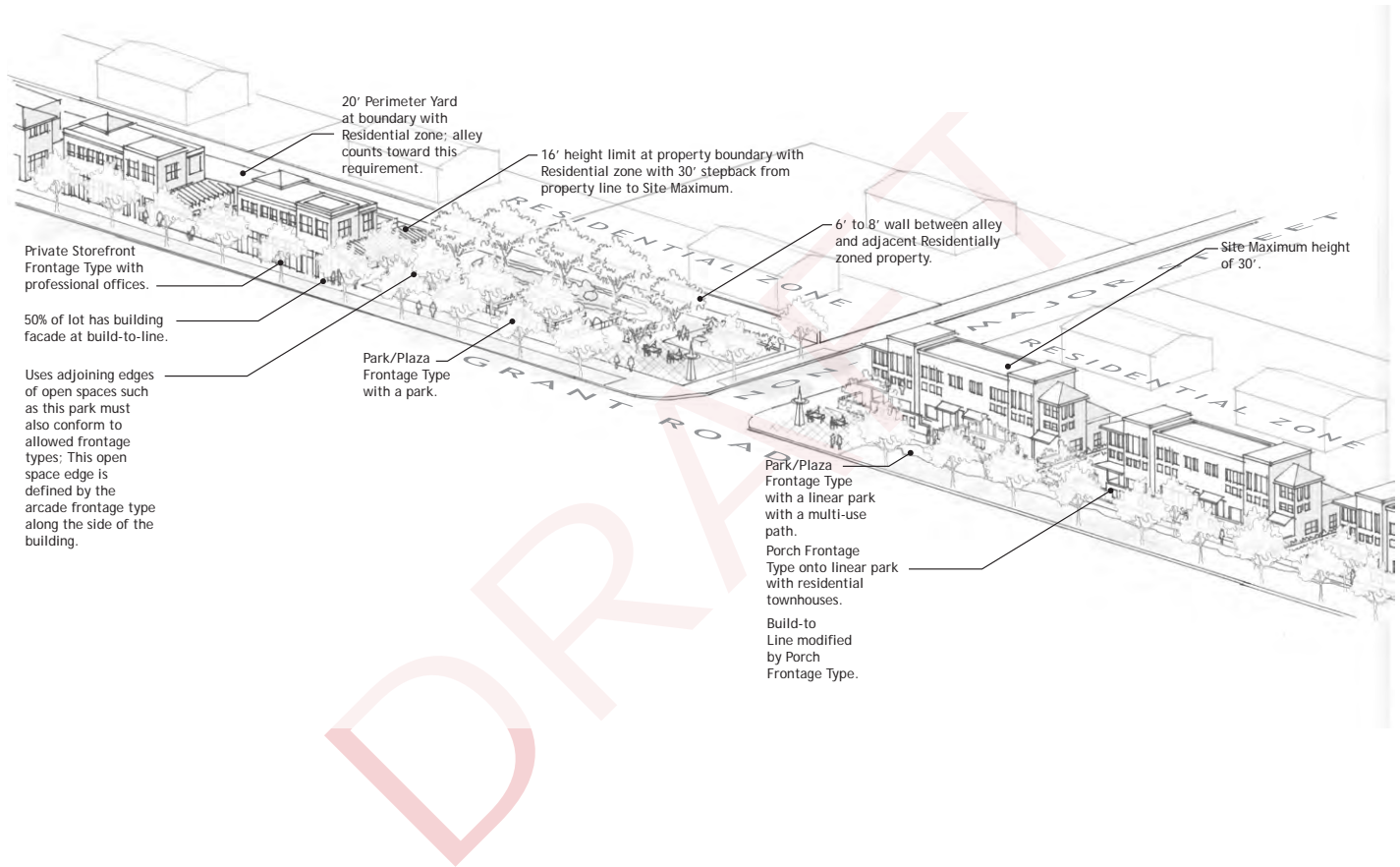
- 5 – Not allowed except as a use associated with a business or residence on the same property.
- 6 – Allowed only when associated with residential use, restaurant, or community garden activity.
- 19 – Drive-in or drive-through restaurants or windows are not allowed.
- 20 – Section 3.5.4.6 of the LUC applies.
- 21 – Section 3.5.4.7.A of the LUC applies.
- 22 – Section 3.5.4.22 of the LUC applies.
- 25 – The operation of the artisan residence shall not create noise, vibrations, smoke, fumes, dust, odors, vapors, other noxious emissions, or any other similar nuisances that are discernible beyond the boundaries of the structure enclosing the artisan residence.

- 31 – Section 3.5.10.3 of the LUC applies, except for 3.5.10.3.G.
- 32 – Maximum storage area shall not be larger than 100 sq.ft. per dwelling unit and per 1,000 sq. ft. of business space.
- 34 – Section 3.5.11.2 of the LUC applies.

**Segment Central**

**Illustrative View**

*One possible scenario showing how new and modified existing development could meet the development standards of the Segment Central category*



## 7. Definitions

# 7. DEFINITIONS

The definitions in the LUC Division 2 Listing of Words and Terms shall apply to the GRD with the following additions and modifications.

**Articulation, Architectural:** The visible expression of architectural or landscape elements through form, details, and materials that define the scale of buildings and spaces to achieve a *human scale* to the building in which the elements of the building are scaled to human height, an arms reach, and the grasp of a hand.

**Articulation, Massing:** The definition of the larger form and massing of a building by structural bays, roof design, and other elements that create interest and scale to the experience of buildings from a distance or while traveling along an adjacent roadway.

**Awning sign:** A sign constructed of cloth, metal, glass, and permanently affixed to a structure and intended to provide shade. This definition amends Article II. General Requirements of Chapter 3 Sign Code of the Tucson Code.

**Building Façade:** the external face of a building fronting onto a street or open space or that is visible from the *public realm*.

**Building Massing:** The combination of volumetric shapes that make up a building's form, such as bays, roofs, and the primary form of the building.

**Build-to line:** A line set in relation to the sidewalk area at the street fronting perimeter of a parcel to which a *building facade* must align for a certain proportion of the length of the build-to line along a parcels frontage. See Figure 7.a.

**Clerestory Windows:** A high windows located above the eye level of a pedestrian that are arranged independently of windows or doors below the windows, and often high on an otherwise blank wall. See Figure 7.b.

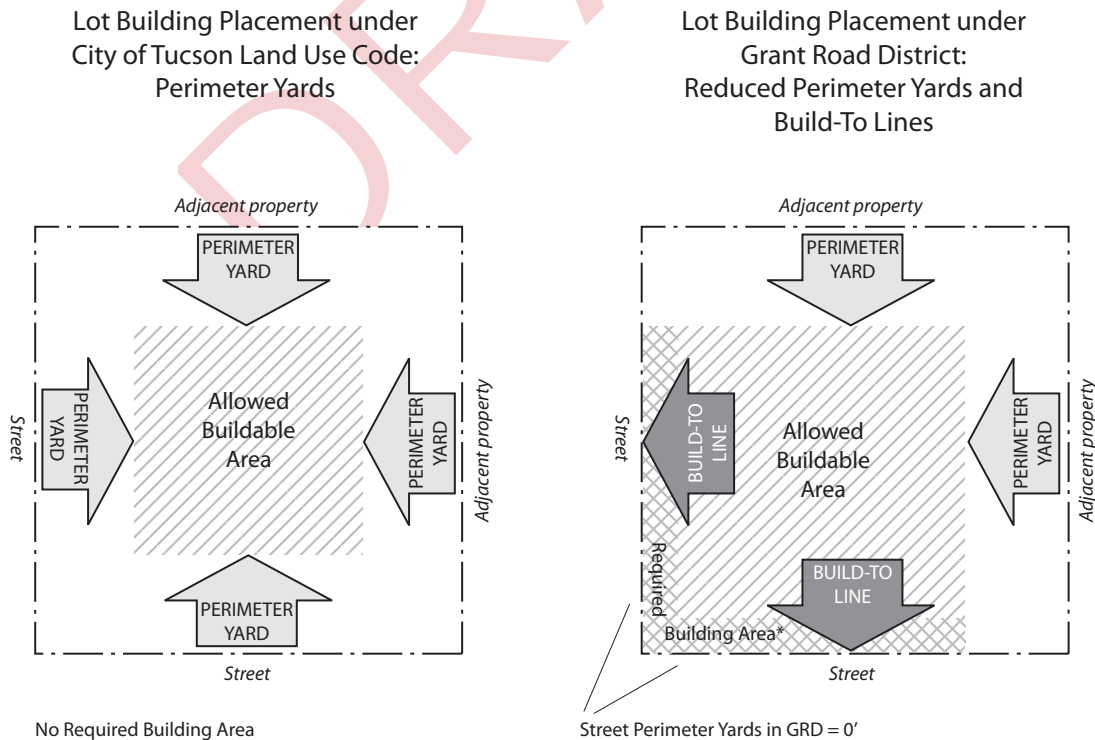


Figure 7.a: Build to Line vs Perimeter Yard diagram.

\*Only a percentage of the required building area created by the Build-To Line must be occupied by a building. For specific percentages, see GRD Category Standards.

## 7. Definitions



Figure 7.b: Clerestory windows.

**Curved Corner Street Frontage:** A particular type of *street frontage* where a large curb radius at an intersection causes a street property line to curve or take a non-90-degree angle. These occur both at street intersections and at the turn-arounds that are associated with the Indirect Left Turns that will be constructed along Grant Road. See Figure 7.c.

**Curved Street Frontage:** A particular type of street frontage where the curving of Grant Road or other street rights-of-way creates a curved property line, see Figure 7.c.

**District Parking:** The provision of parking in either a surface lot or a structure that provides parking for multiple uses within the area, or “district”, surrounding the parking, allowing for shared parking and the reduction of the amount of parking provided on the individual properties for the uses within the district.

**Encroachment:** Encroachments are the allowance for private building elements or activities to extend into a *perimeter yard*, the public right-of-way or publicly accessible space. Encroachments include landscape structures such as arbors and canopies; building structures such as bays, eaves and awnings; and activities such as seating, dining and display of goods.

**Functional Open Space:** an exterior area that is for private or public passive or active recreational use. The GRD has both requirements for residential and commercial Functional Open Space which could include parks and plazas that are open to the public, terraces, courtyards, sports facilities, private recreation areas, playgrounds, swimming pools, community gardens, and passive sitting and gathering spaces; in relation to commercial space it may include dining and other exterior patron activities. Functional open space does not include required parking.

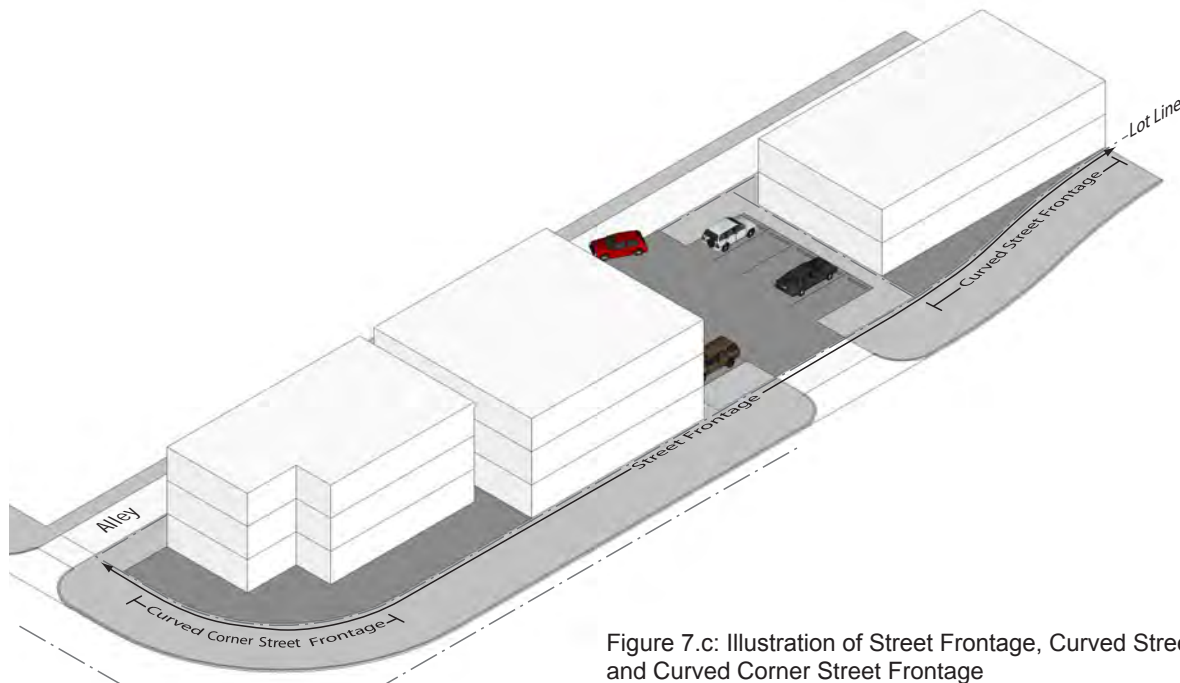


Figure 7.c: Illustration of Street Frontage, Curved Street Frontage and Curved Corner Street Frontage

## 7. Definitions

**Glazed Area:** The transparent portion of windows (not including excluding skylights, light tubes and other roof fenestration) and doors.

**Horizontal Mixed Use:** The mixing of land uses within one development that distributes uses side-by-side and maximizes access to uses by creating a compact and walkable environment.

**Human-Scale:** Design which incorporates architectural and landscape elements that have a relationship to human proportions; that is, they are closely proportioned in size to human height, an arms reach, or the grasp of a hand. See Figures 7.d through 7.g.

**Individual Lot Frontage:** the *street frontage* occupied by an individual parcel. If a development site is composed of multiple parcels, the individual lot frontage is the *street frontage* occupied by the development site. If the lot or development site fronts onto multiple streets, each street's frontage is treated individually except if the lot or site has uninterrupted *curved corner street frontage* in which case the two street frontages making up the corner are considered as one individual lot frontage. See Figure 7.c.



Figures 7.d and 7.e: Photo examples of buildings with human scaled articulation using more traditional stucco and wood construction.



Figure 7.f and 7.g: Photo examples of buildings with human scaled articulation using more modern steel and glass materials.

## 7. Definitions

**Pedestrian Pass-through:** A path, private or public, that is accessible to pedestrians as a physical connection through a block between buildings, see Figure 7.h.

**Perimeter Yard:** an area defined by a minimum distance to separate buildings from adjacent property or streets. See Figure 7.a.

**Public Frontage:** The interface between lots and public streets as well as the interface between publicly accessible open spaces and what bounds them. The interface between lots and alleys are not public frontage.

**Public Realm:** Spaces and linkages that are owned and accessible to the public, and similar privately owned spaces that are open to the public at all times. Spaces and linkages may include streets, sidewalks, parks, plazas and pedestrian pass-throughs.

**Semi-Public Realm:** Spaces and linkages that are privately owned, but accessible to the public. Semi-public realm spaces may typically contain limitations such as accessible times. Semi-public realm spaces may include private streets, plazas and pedestrian pass-throughs.

**Setback:** For the purposes of the Grant Road District, a setback is the distance (minimum and/or maximum) from the *build-to line* to a *vertical element*, or building façade. Building façades that are set back (per setback allowance as defined in the frontage type) may be counted towards the % build-to line requirement.

**Sidewalk Area:** The area between a building site and the curb of a street used for pedestrian access and amenity. Sidewalk area is used for landscaping, either within a strip or tree well cutouts, a through area for pedestrian travel along the sidewalk, a “buffer” area along the edge of the sidewalk or adjacent building.

**Street Frontage:** the interface between lots and public streets, which include Major and non-Major Streets, see Figure 7.c.



Figure 7.h: Photo of a pedestrian pass-through between residences.



Figure 7.i: Transom window.



## 7. Definitions

**Transom Windows:** The windows above a display window or door following the width and spacing of the windows and doors below, and separated from them by a transom bar or narrow portion of wall. See Figure 7.i.

**Transparency:** The building openings with no glass, clear glass or glass with low-e films, which allow 100% through visual connection between both sides of an opening.

**Vehicular Use Area:** Any area of a site or structure used for the parking, storage, or standing of motor vehicles. The vehicular use area includes access drives, maneuvering areas, refuse collection locations, loading spaces, and any landscaping and screening within ten (10) feet of these areas. (Ord. No. 10016, §2, 8/2/04)

**Vertical Element:** A landscape wall, seat wall, fence, arbor or porch.

**Vertical Mixed Use:** The mixing of land uses within one development that stacks multiple within one building, but compatible uses on the same parcel.

**Visual Permeability:** The ability of vertical surfaces to allow viewers to see through to the other side (e.g., windows and open fencing).

DRAFT